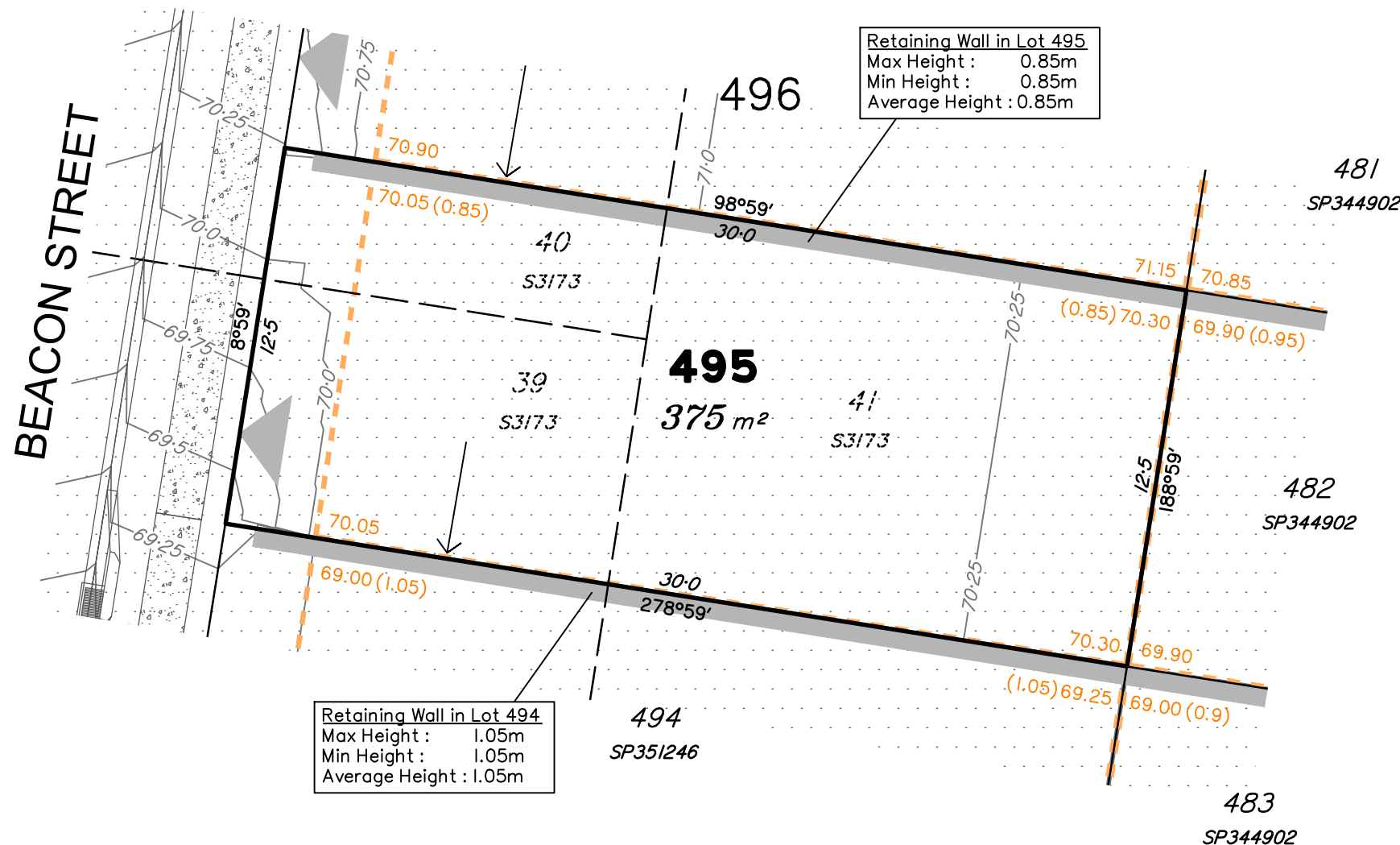




## STAGE 17



Retaining Wall in Lot 495  
Max Height : 0.85m  
Min Height : 0.85m  
Average Height : 0.85m

Retaining Wall in Lot 494  
Max Height : 1.05m  
Min Height : 1.05m  
Average Height : 1.05m

### LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- XX.XX Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

### NOTES

This plan has been prepared from preliminary survey plan (SP351257) and engineering plans provided on the 03/04/25 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

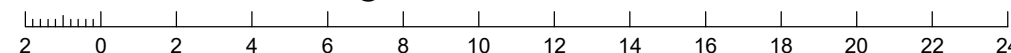
Lot 495 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



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Brisbane Springfield  
head office 9 Thompson St Bowen Hills Q 4006  
phone 1300 123 SHG web www.saundershavill.com

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### Disclosure Plan for Proposed Lot 495 (Restricted) on SP351257

Described as part of Lot 1000 (Restricted) on SP348235 & Lot 2000 (Restricted) on SP348235

Existing Title Reference: 51378370 & 51378371

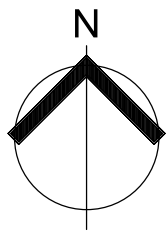
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PSM 49894  
RL of Origin: 62.350  
Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 71 DP A\_495

Issues	No.	by	Date	Chkd	Description
	A	MS	07/04/25	PS	Original Issue



STAGE 17

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351257) and engineering plans provided on the 03/04/25 by Colliers Engineering & Design.

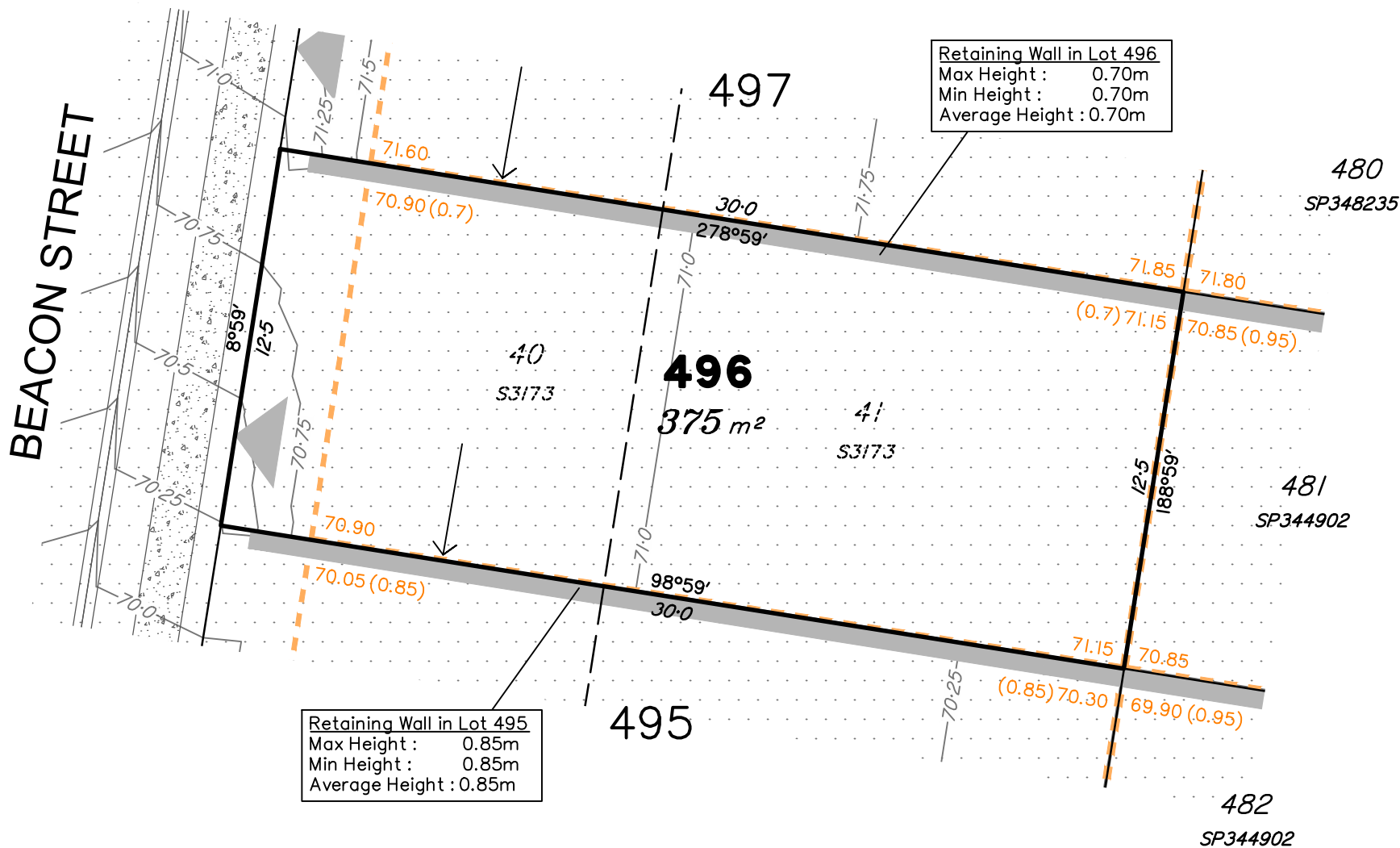
The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

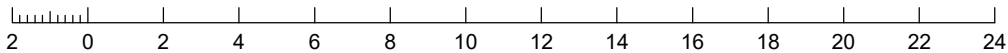
Lot 496 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



Issues	No.	by	Date	Chkd	Description
	A	MS	07/04/25	PS	Original Issue



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Disclosure Plan for Proposed Lot 496 (Restricted) on SP351257

Described as part of Lot 1000 (Restricted) on SP348235 & Lot 2000 (Restricted) on SP348235

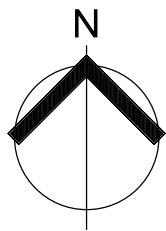
Existing Title Reference: 51378370 & 51378371

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PSM 49894  
RL of Origin: 62.350  
Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 71 DP A\_496



STAGE 17

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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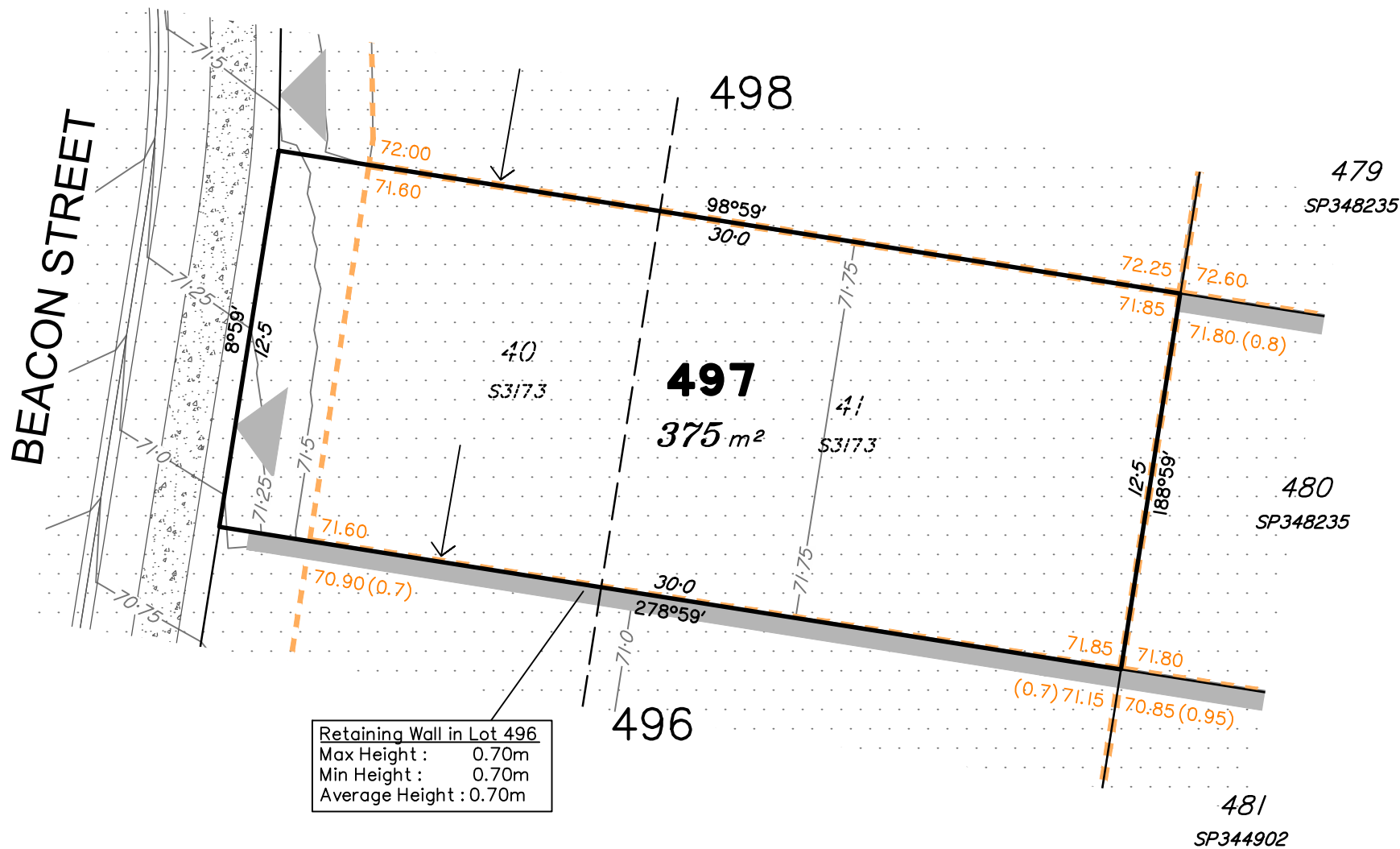
The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 497 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



Issues	No.	by	Date	Chkd	Description
	A	MS	07/04/25	PS	Original Issue



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Disclosure Plan for Proposed Lot 497 (Restricted) on SP351257

Described as part of Lot 1000 (Restricted) on SP348235 & Lot 2000 (Restricted) on SP348235

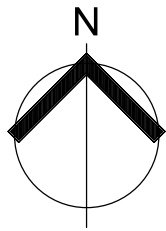
Existing Title Reference: 51378370 & 51378371

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PSM 49894  
RL of Origin: 62.350  
Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 71 DP A\_497



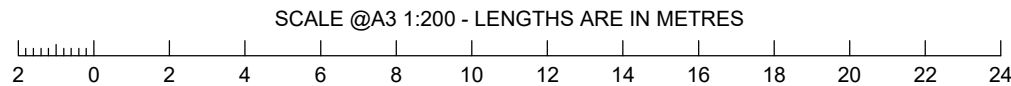
BEACON STREET

Retaining Wall in Lot 498  
Max Height : 1.10m  
Min Height : 1.05m  
Average Height : 1.08m

Retaining Wall in Lot 498  
Max Height : 1.60m  
Min Height : 1.00m  
Average Height : 1.30m

Retaining Wall in Lot 498  
Max Height : 1.50m  
Min Height : 1.50m  
Average Height : 1.50m

Retaining Wall in Lot 498  
Max Height : 1.00m  
Min Height : 1.00m  
Average Height : 1.00m



## LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

## NOTES

This plan has been prepared from preliminary survey plan (SP351257) and engineering plans provided on the 03/04/25 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 498 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

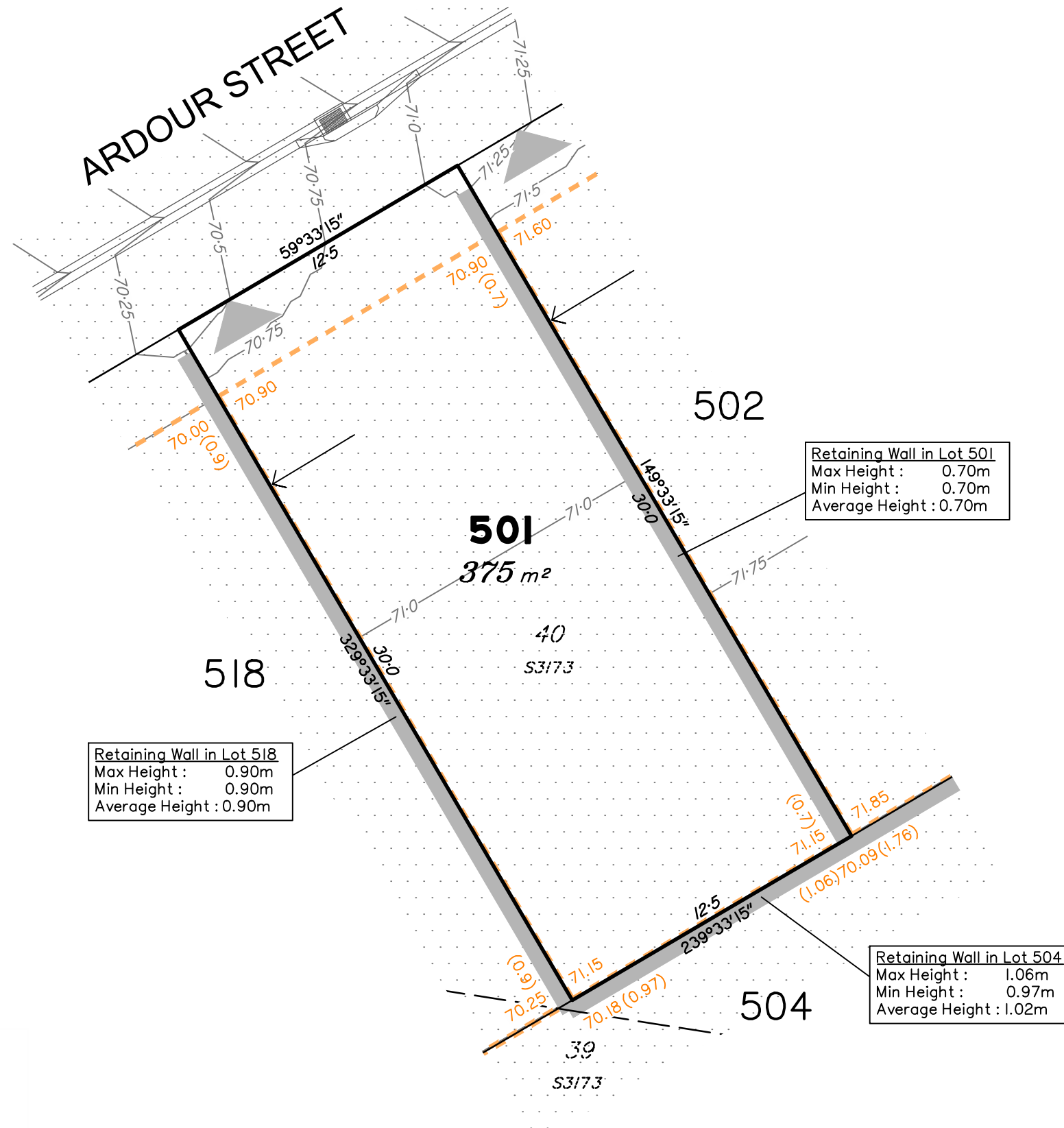
Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

Issue	No.	by	Date	Chkd	Description
	A	MS	07/04/25	PS	Original Issue





# STAGE 17



## LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

## NOTES

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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 501 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



SCALE @A3 1:200 - LENGTHS ARE IN METRES

Issues	No.	by	Date	Chkd	Description
	A	MS	07/04/25	PS	Original Issue



# STAGE 17

## LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

## NOTES

This plan has been prepared from preliminary survey plan (SP351257) and engineering plans provided on the 03/04/25 by Colliers Engineering & Design.

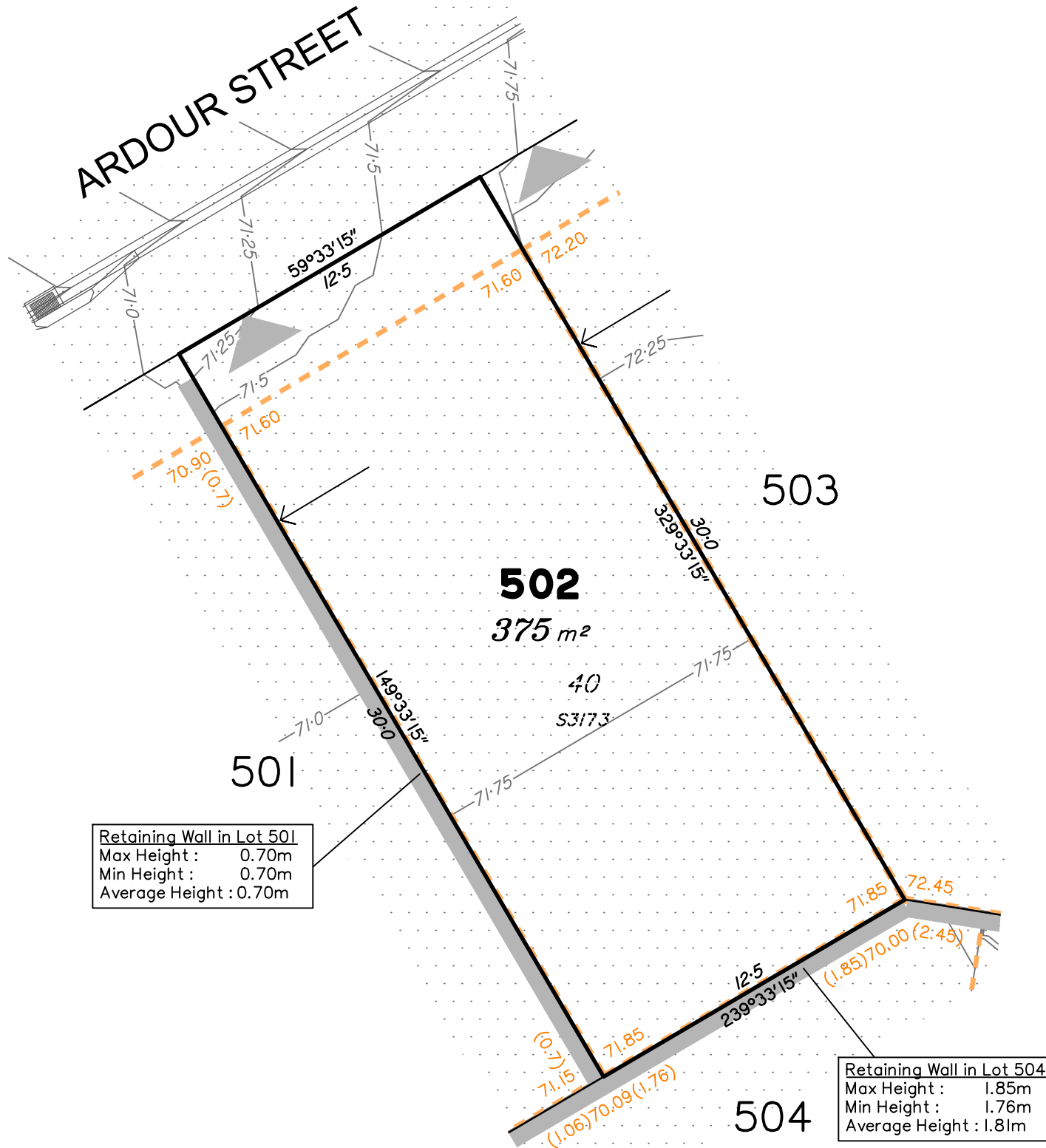
The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 502 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

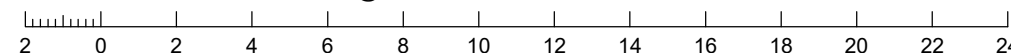
Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



Retaining Wall in Lot 501  
Max Height : 0.70m  
Min Height : 0.70m  
Average Height : 0.70m

Retaining Wall in Lot 504  
Max Height : 1.85m  
Min Height : 1.76m  
Average Height : 1.81m

SCALE @A3 1:200 - LENGTHS ARE IN METRES



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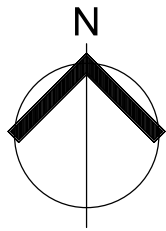
## Disclosure Plan for Proposed Lot 502 (Restricted) on SP351257

Described as part of Lot 2000 (Restricted) on SP348235  
Existing Title Reference: 51378371

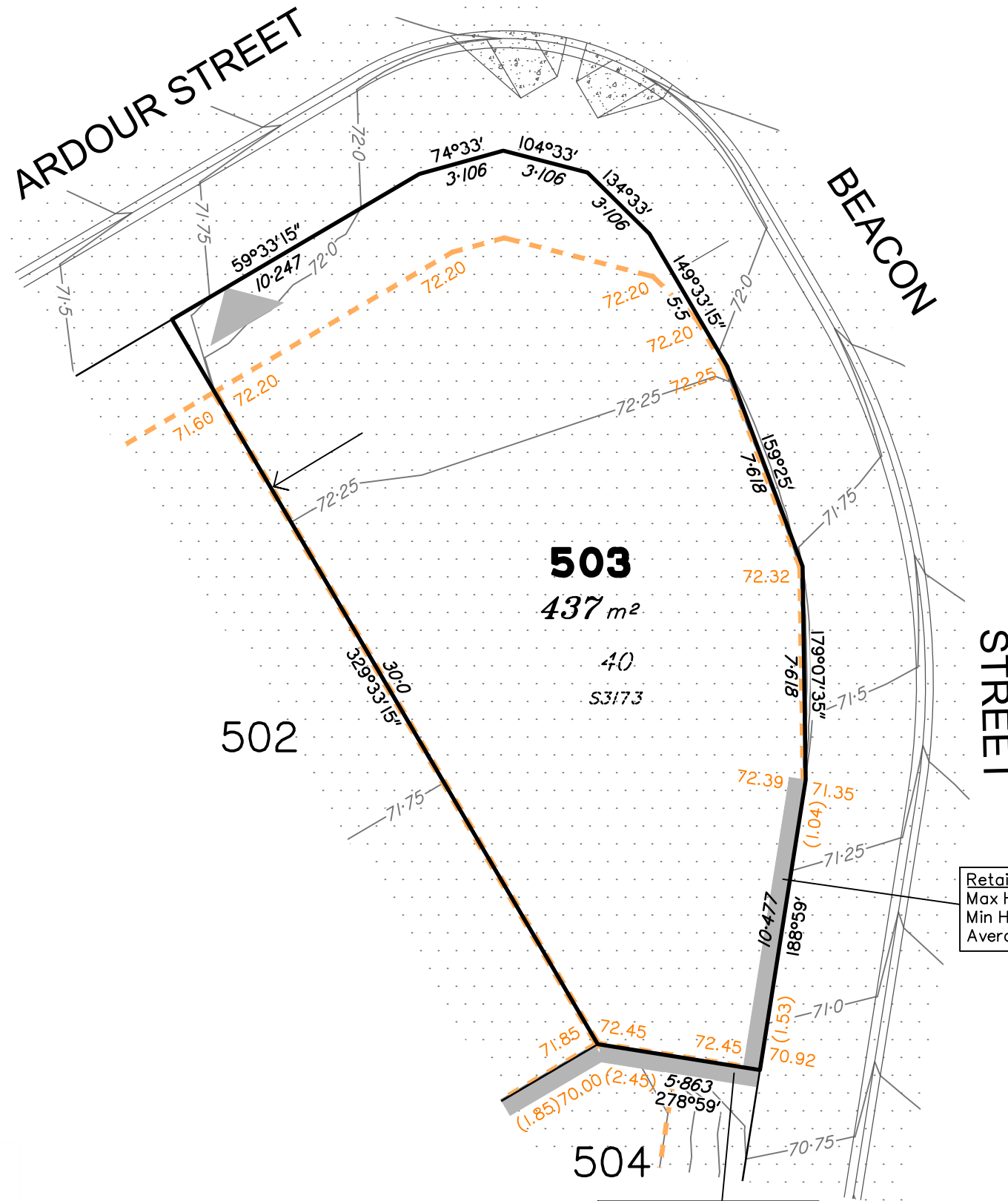
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PSM 49894  
RL of Origin: 62.350  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Dwg No. 9780 S 71 DP A\_502

No.	by	Date	Chkd	Description
A	MS	07/04/25	PS	Original Issue



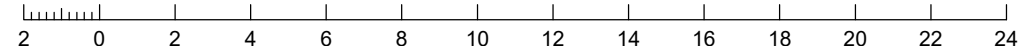
# STAGE 17



Retaining Wall in Lot 503  
Max Height : 1.53m  
Min Height : 1.04m  
Average Height : 1.29m

Retaining Wall in Lot 504  
Max Height : 2.45m  
Min Height : 1.53m  
Average Height : 1.99m

SCALE @A3 1:200 - LENGTHS ARE IN METRES



## LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

## NOTES

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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 503 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

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Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



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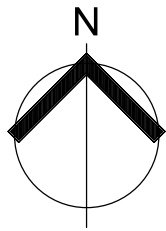
## Disclosure Plan for Proposed Lot 503 (Restricted) on SP351257

Described as part of Lot 2000 (Restricted) on SP348235  
Existing Title Reference: 51378371

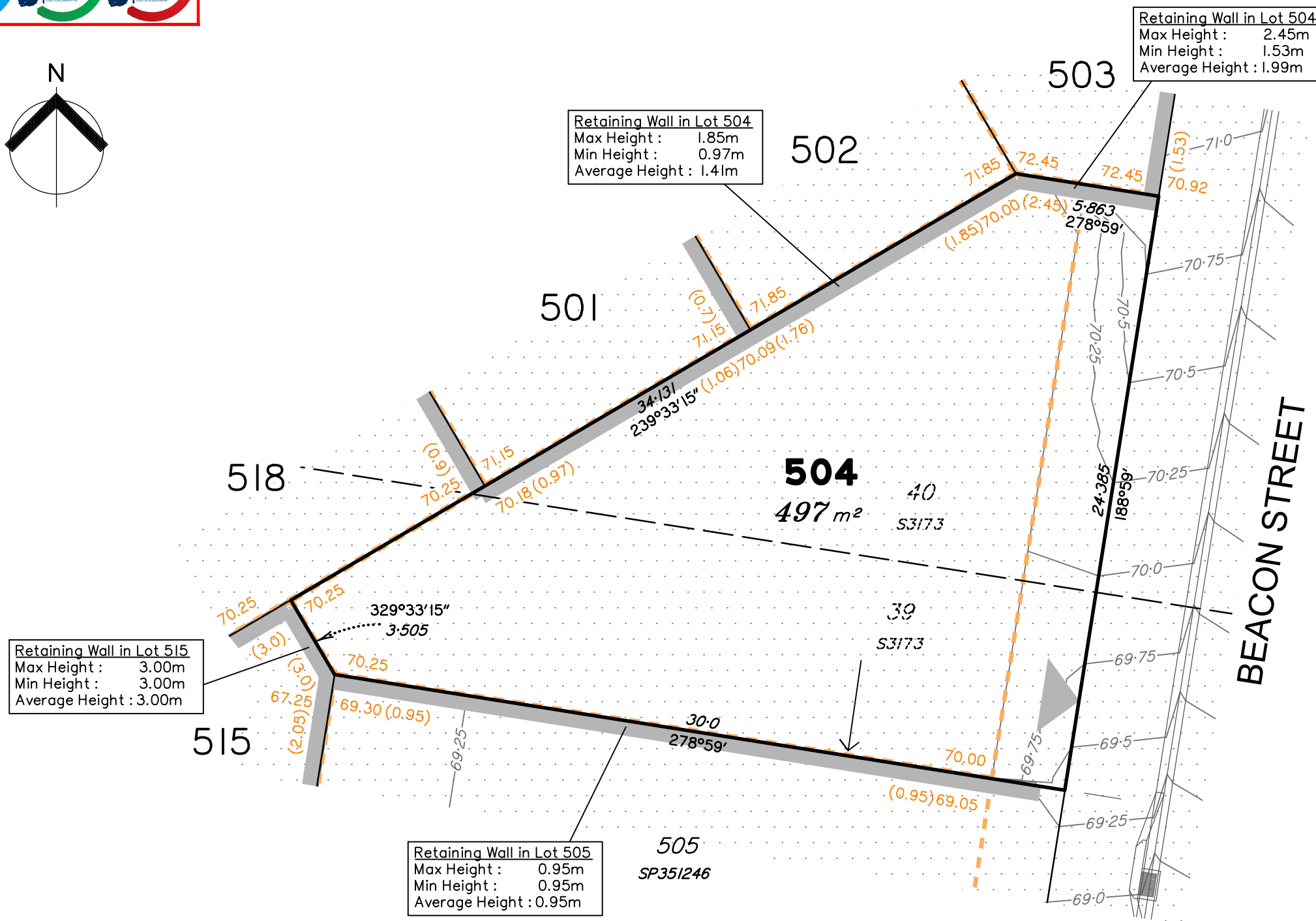
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PSM 49894  
RL of Origin: 62.350  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Dwg No. 9780 S 71 DP A\_503

Issues	No.	by	Date	Chkd	Description
	A	MS	07/04/25	PS	Original Issue



## STAGE 17



### LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

### NOTES

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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

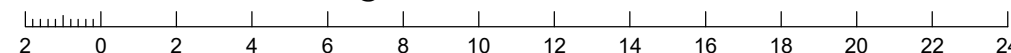
Lot 504 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



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### Disclosure Plan for Proposed Lot 504 (Restricted) on SP351257

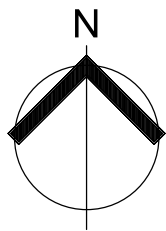
Described as part of Lot 2000 (Restricted) on SP348235  
Existing Title Reference: 51378371

Locality of Ripley (Ipswich City Council)

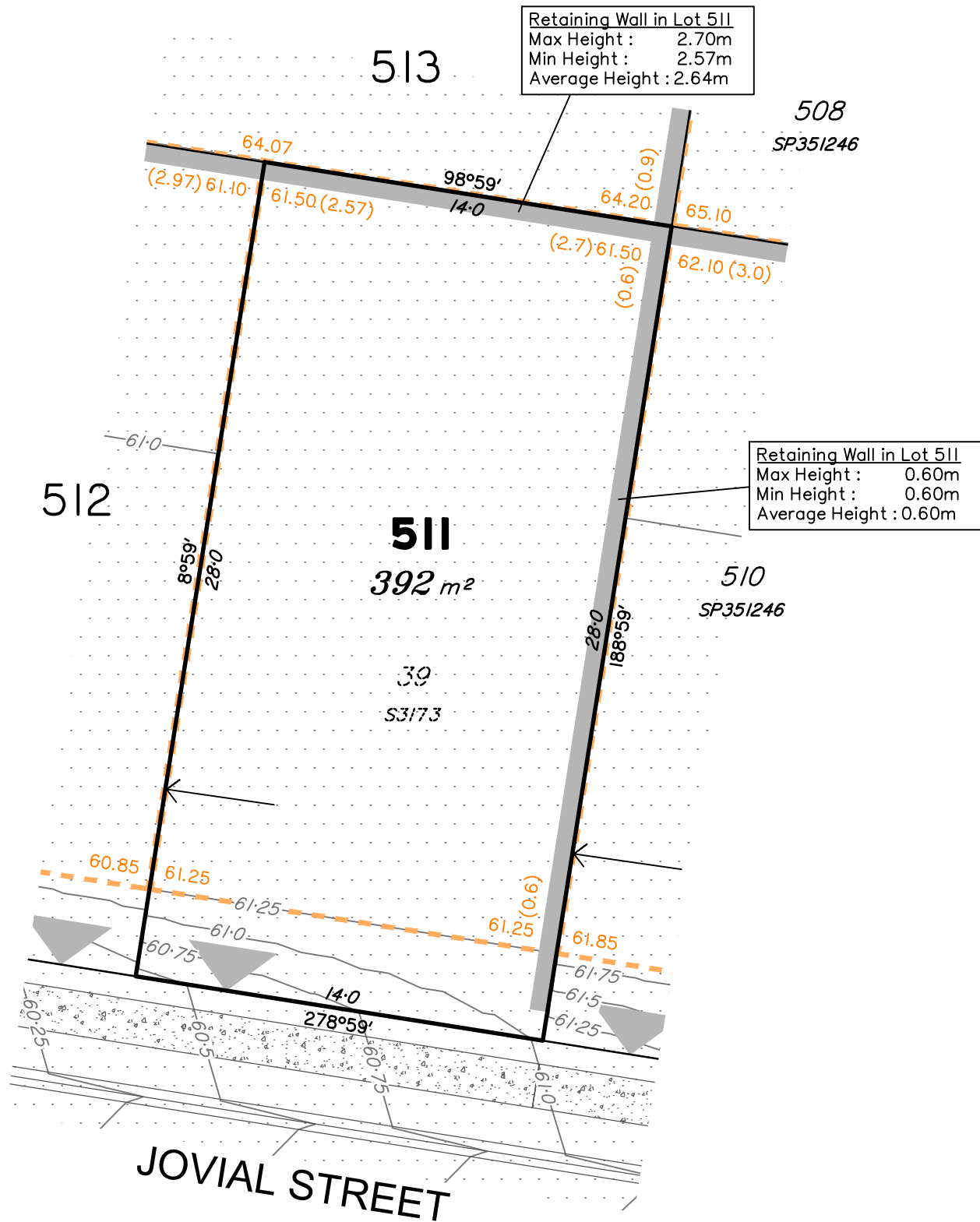
Level Datum: AHD der.  
Origin of Levels: PSM 49894  
RL of Origin: 62.350  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Dwg No. 9780 S 71 DP A\_504

No.	by	Date	Chkd	Description
A	MS	07/04/25	PS	Original Issue





STAGE 17



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

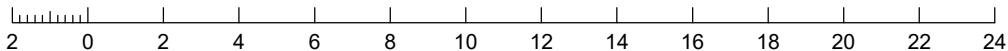
Lot 511 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



Issues	No.	by	Date	Chkd	Description
	A	MS	07/04/25	PS	Original Issue



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Disclosure Plan for Proposed Lot 511 (Restricted) on SP351257

Described as part of Lot 2000 (Restricted) on SP348235  
Existing Title Reference: 51378371

Locality of Ripley (Ipswich City Council)

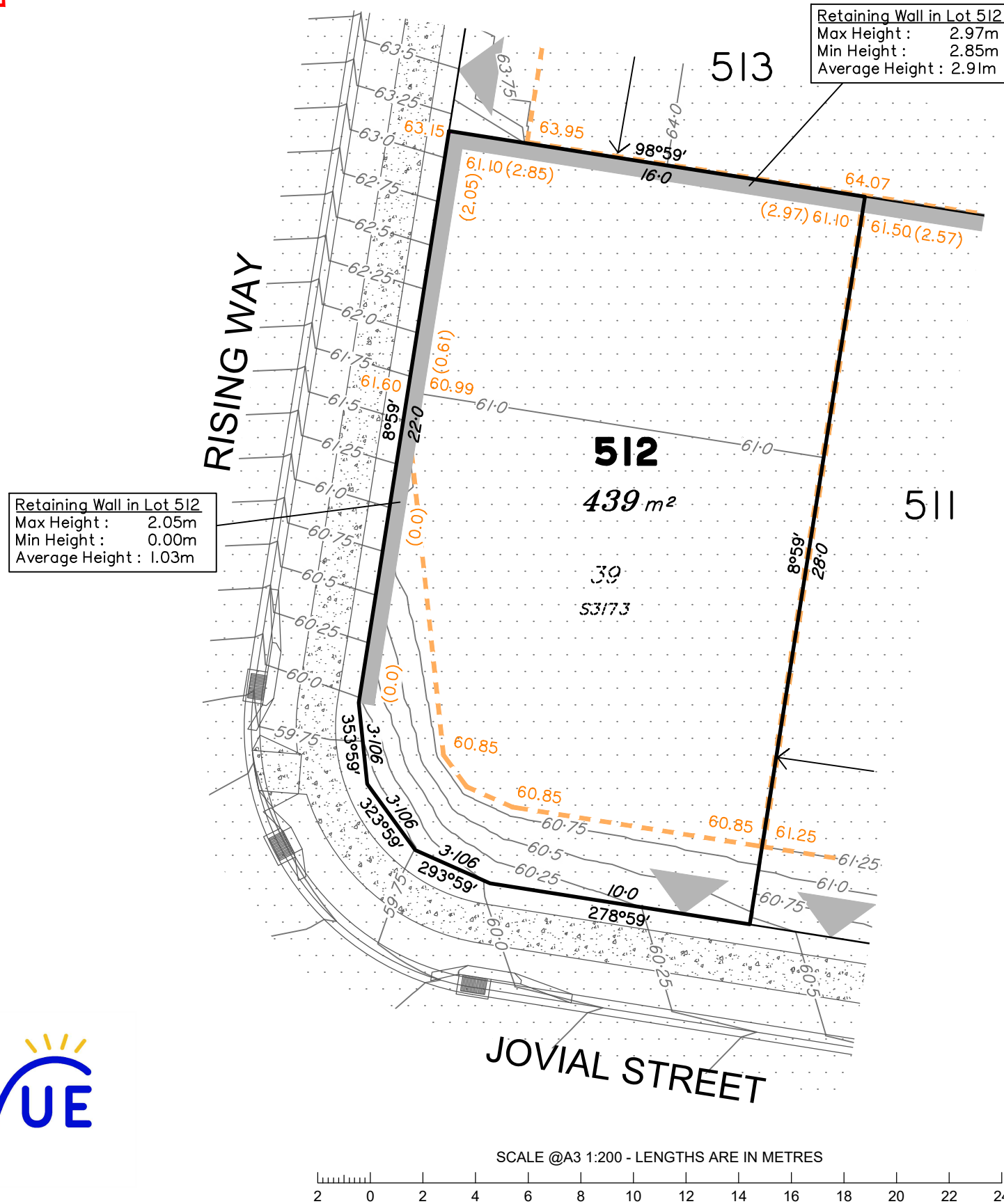
Level Datum: AHD der.  
Origin of Levels: PSM 49894  
RL of Origin: 62.350  
Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 71 DP A\_511



STAGE 17



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 512 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



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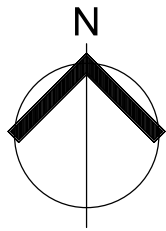
Disclosure Plan for Proposed Lot 512 (Restricted) on SP351257

Described as part of Lot 2000 (Restricted) on SP348235  
Existing Title Reference: 51378371

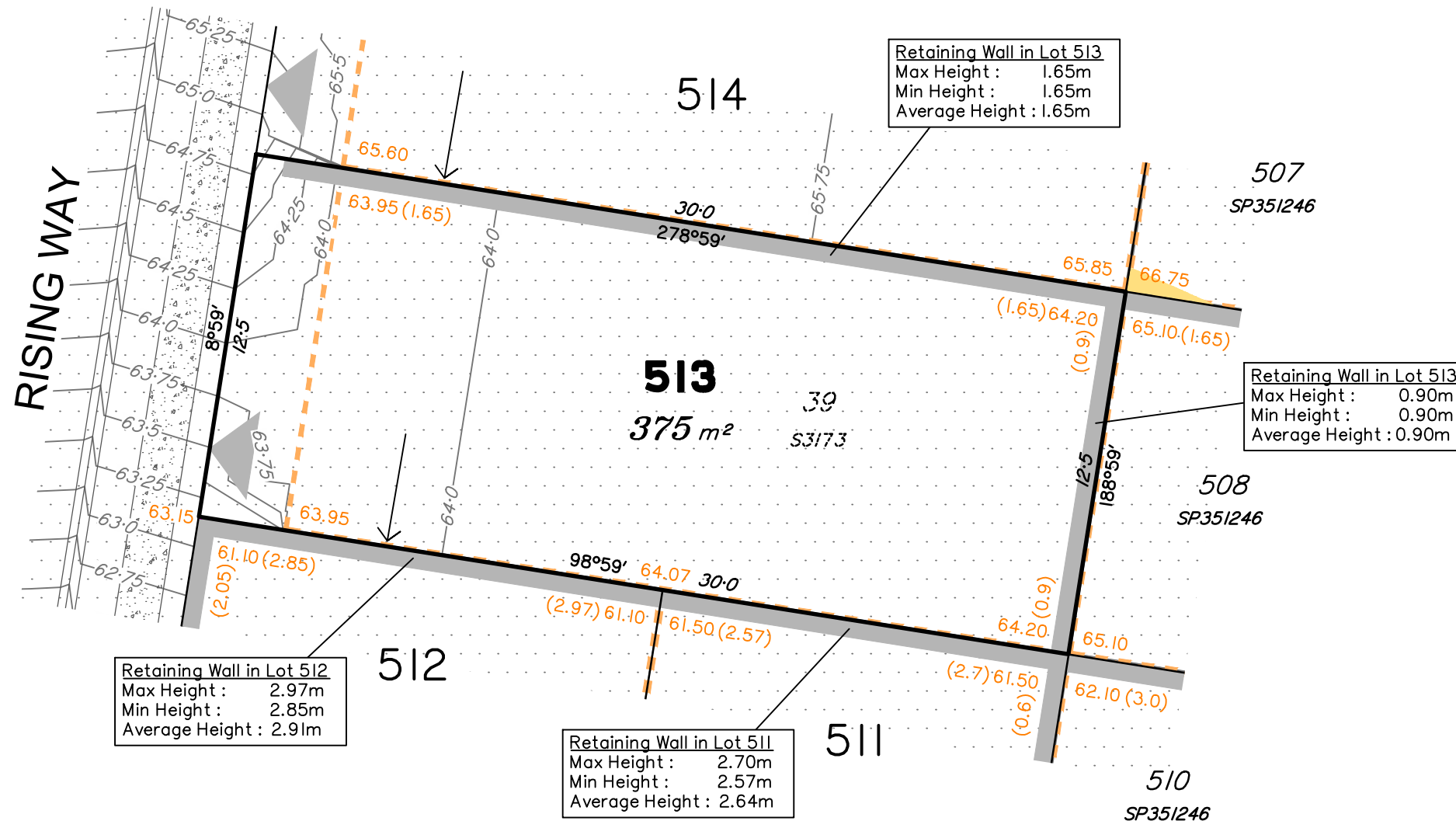
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PSM 49894  
RL of Origin: 62.350  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Dwg No. 9780 S 71 DP A\_512

Issues	No.	by	Date	Chkd	Description
	A	MS	07/04/25	PS	Original Issue



## STAGE 17



### LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall  
(Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

### NOTES

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The relevant authorities have not yet granted operational works approval for the proposed lot.

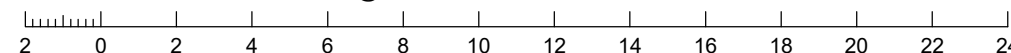
Lot 513 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



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Brisbane Springfield  
head office 9 Thompson St Bowen Hills Q 4006  
phone 1300 123 SHG web www.saundershavill.com

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### Disclosure Plan for Proposed Lot 513 (Restricted) on SP351257

Described as part of Lot 2000 (Restricted) on SP348235  
Existing Title Reference: 51378371

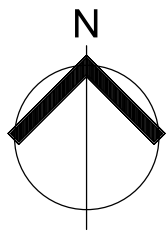
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PSM 49894  
RL of Origin: 62.350  
Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 71 DP A\_513

Issues	No.	by	Date	Chkd	Description
	A	MS	07/04/25	PS	Original Issue



STAGE 17

- LEGEND**
- Area of Fill
  - Area of Cut
  - Design Contours
  - Depth of Fill Contours
  - Proposed Retaining Wall (Height shown in brackets on lower side)
  - Finished Design Surface Level
  - Earthworks Pad Extents
  - Top of Batter
  - Built to Boundary Location
  - Future Development Lot Boundary
  - Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

**NOTES**

This plan has been prepared from preliminary survey plan (SP351257) and engineering plans provided on the 03/04/25 by Colliers Engineering & Design.

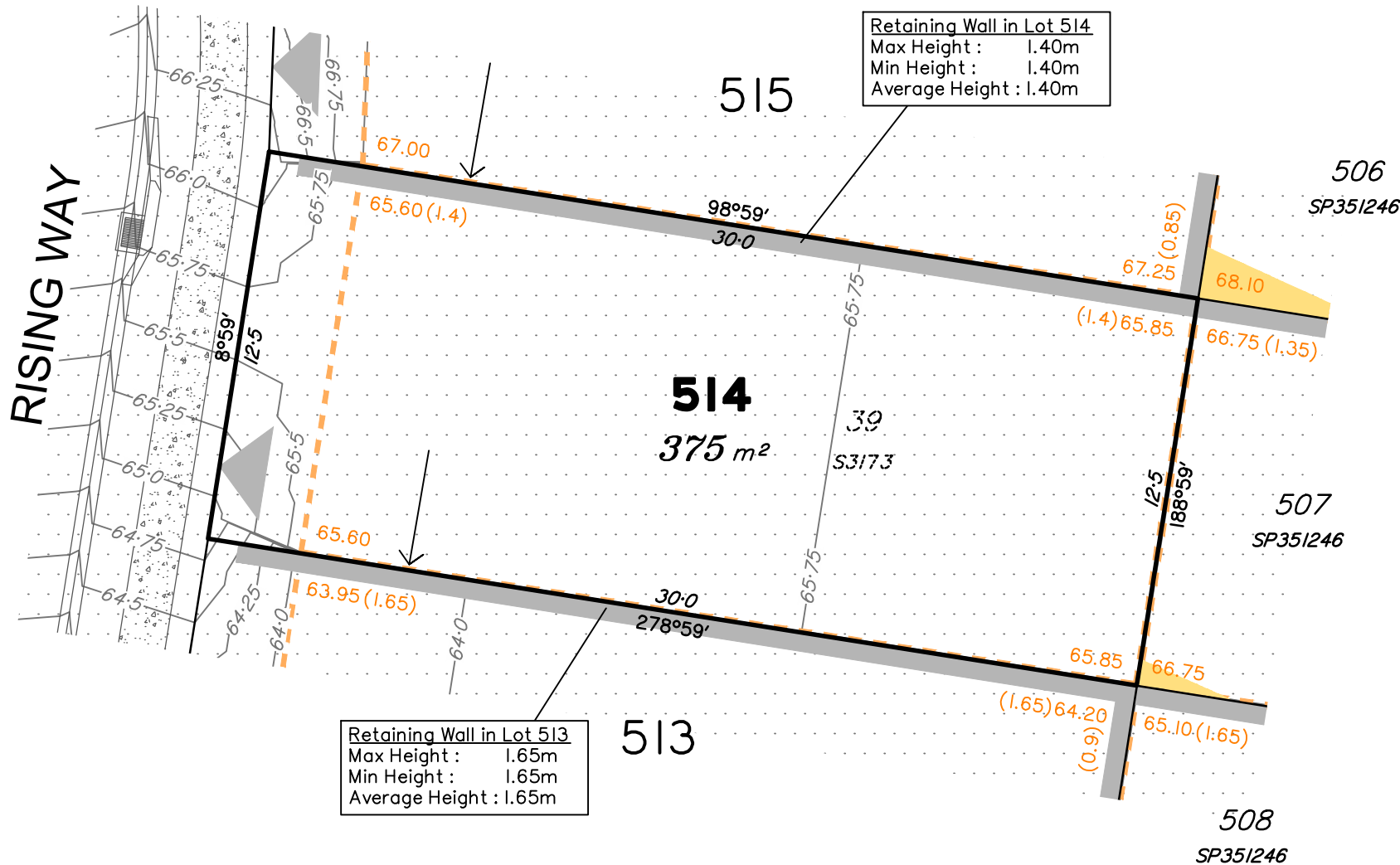
The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

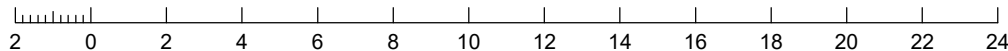
Lot 514 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



Issues	No.	by	Date	Chkd	Description
	A	MS	07/04/25	PS	Original Issue



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**Disclosure Plan for Proposed Lot 514 (Restricted) on SP351257**

Described as part of Lot 2000 (Restricted) on SP348235  
Existing Title Reference: 51378371

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PSM 49894  
RL of Origin: 62.350  
Contour Interval: 0.25m

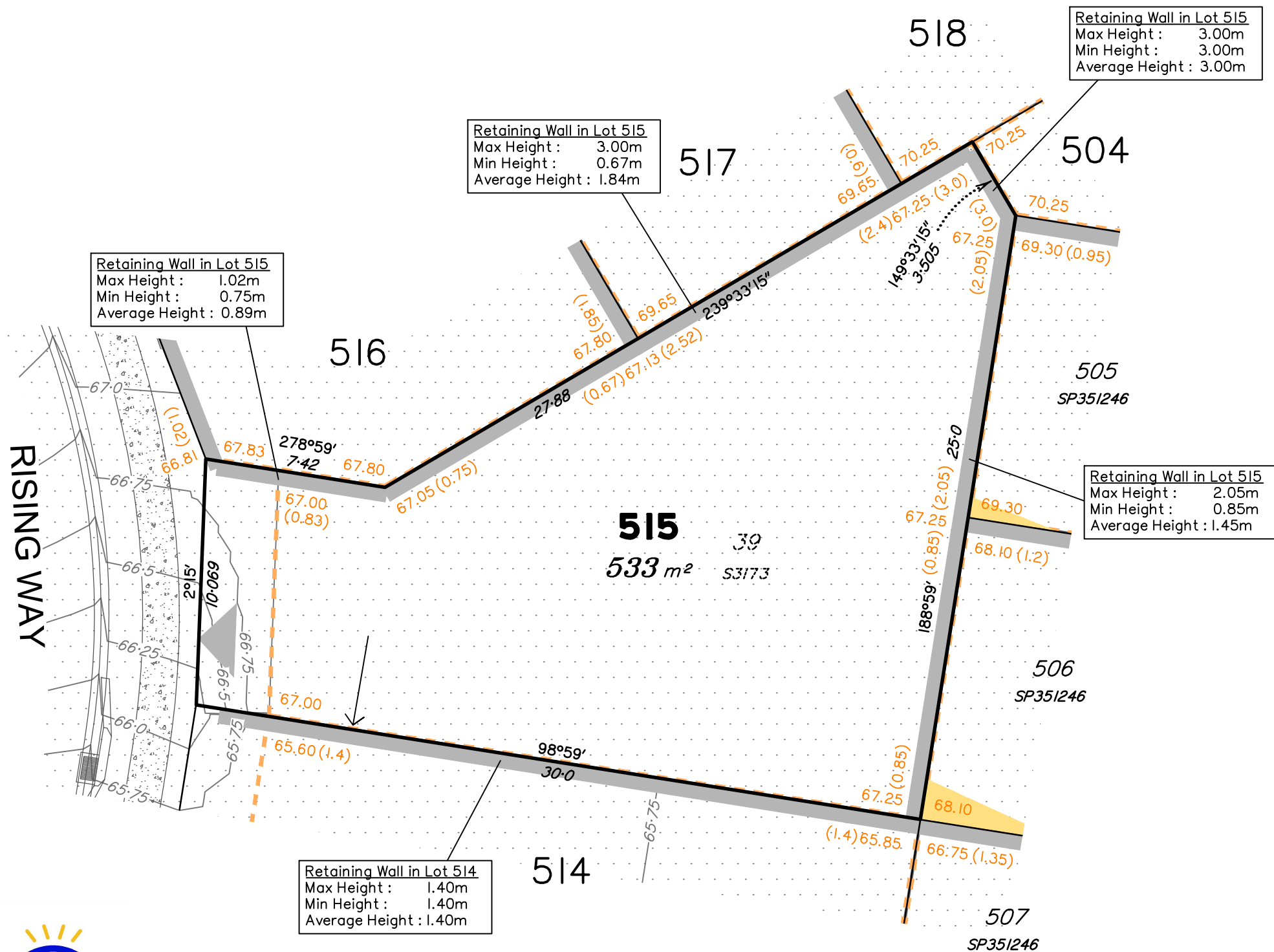
Scale @A3 1: 200

Dwg No. 9780 S 71 DP A\_514





STAGE 17



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The relevant authorities have not yet granted operational works approval for the proposed lot.

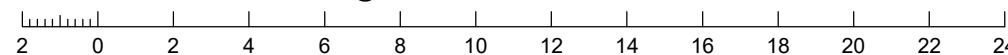
Lot 515 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

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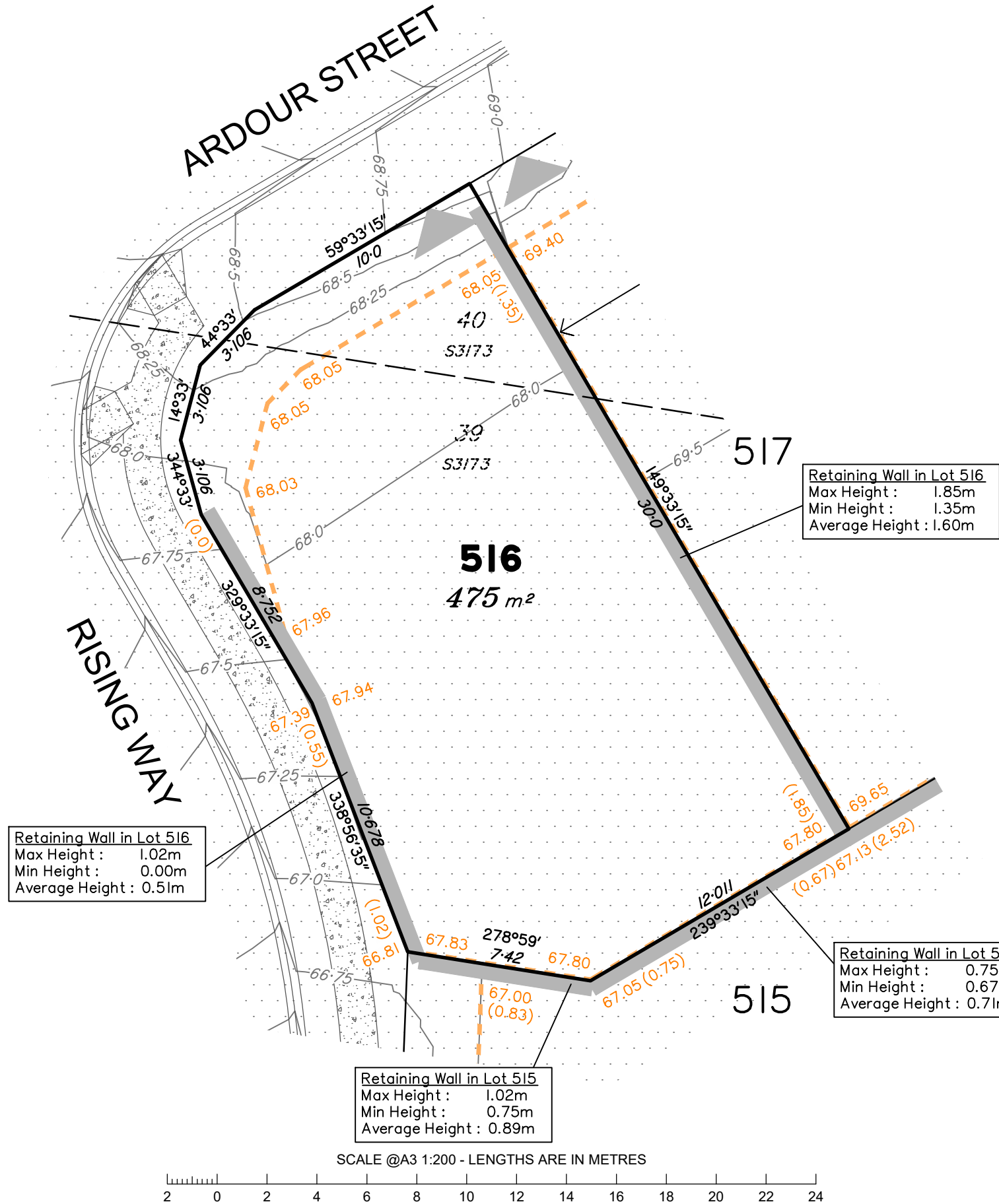
Disclosure Plan for Proposed Lot 515 (Restricted) on SP351257

Described as part of Lot 2000 (Restricted) on SP348235  
Existing Title Reference: 51378371

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PSM 49894  
RL of Origin: 62.350  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Dwg No. 9780 S 71 DP A\_515

Issues	No.	by	Date	Chkd	Description
	A	MS	07/04/25	PS	Original Issue



STAGE 17

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

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The relevant authorities have not yet granted operational works approval for the proposed lot.

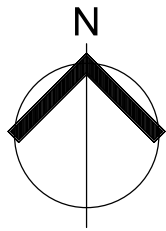
Lot 516 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

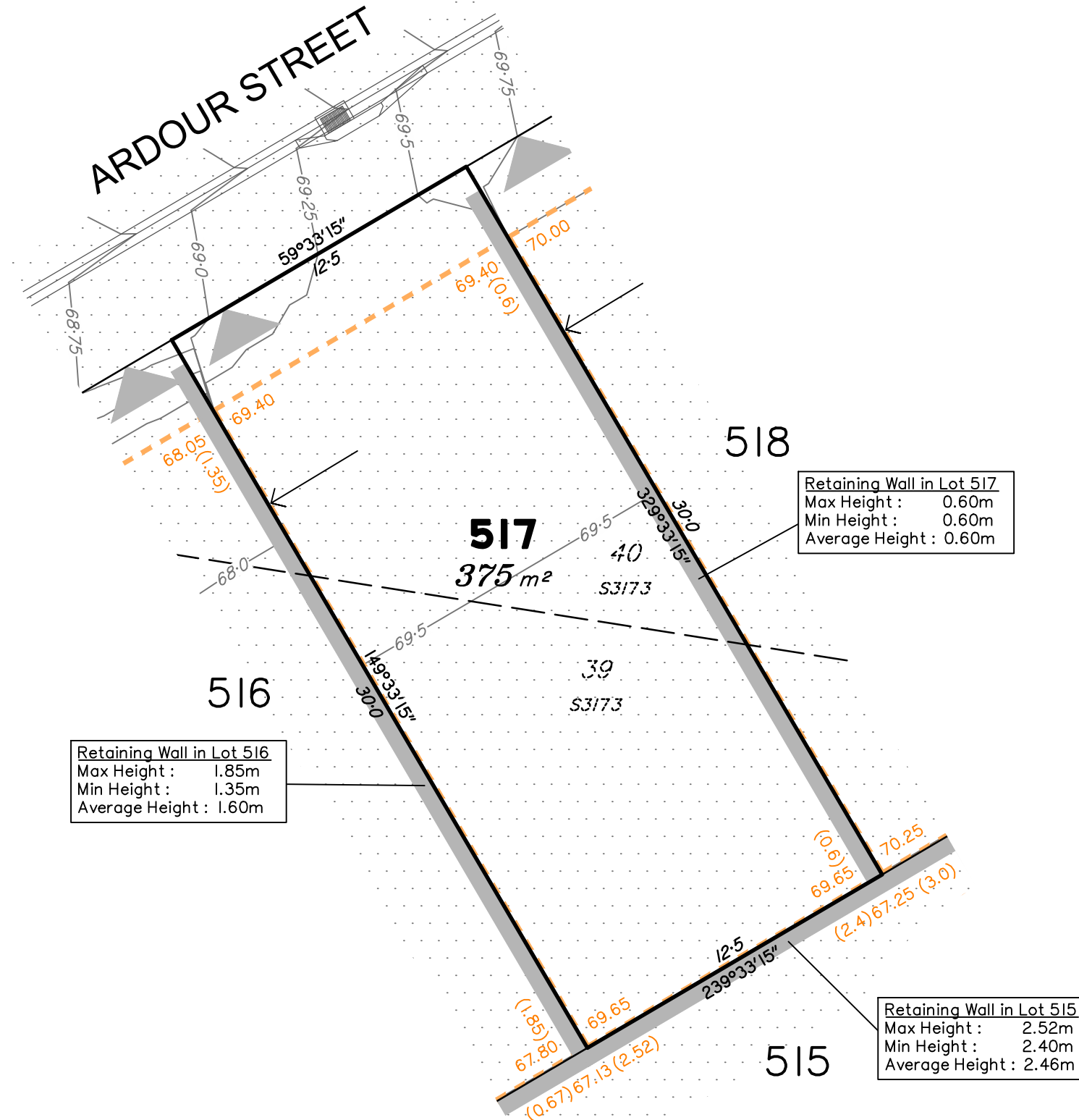
Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



Issues	No.	by	Date	Chkd	Description
	A	MS	07/04/25	PS	Original Issue



## STAGE 17



### LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
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- Proposed Driveway Location

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### NOTES

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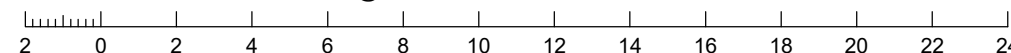
Lot 517 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

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### Disclosure Plan for Proposed Lot 517 (Restricted) on SP351257

Described as part of Lot 2000 (Restricted) on SP348235  
Existing Title Reference: 51378371

Locality of Ripley (Ipswich City Council)

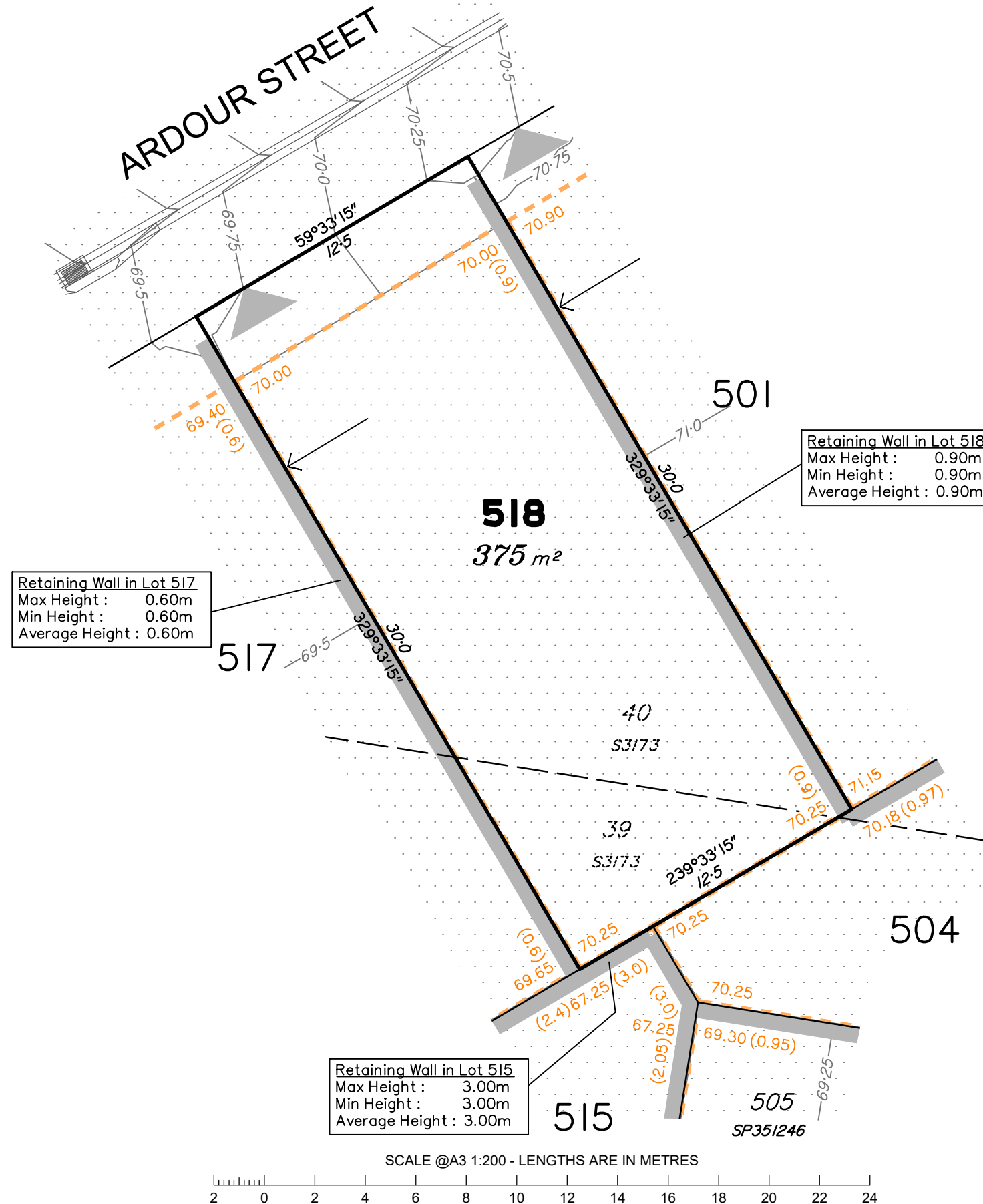
Level Datum: AHD der.  
Origin of Levels: PSM 49894  
RL of Origin: 62.350  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Dwg No. 9780 S 71 DP A\_517

Issues	No.	by	Date	Chkd	Description
	A	MS	07/04/25	PS	Original Issue





## STAGE 17



### LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
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- Future Development Lot Boundary
- Proposed Driveway Location

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The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 518 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

No.	by	Date	Chkd	Description
A	MS	07/04/25	PS	Original Issue

**BELLEVUE**  
RIPLEY

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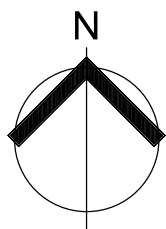
### Disclosure Plan for Proposed Lot 518 (Restricted) on SP351257

Described as part of Lot 2000 (Restricted) on SP348235  
Existing Title Reference: 51378371

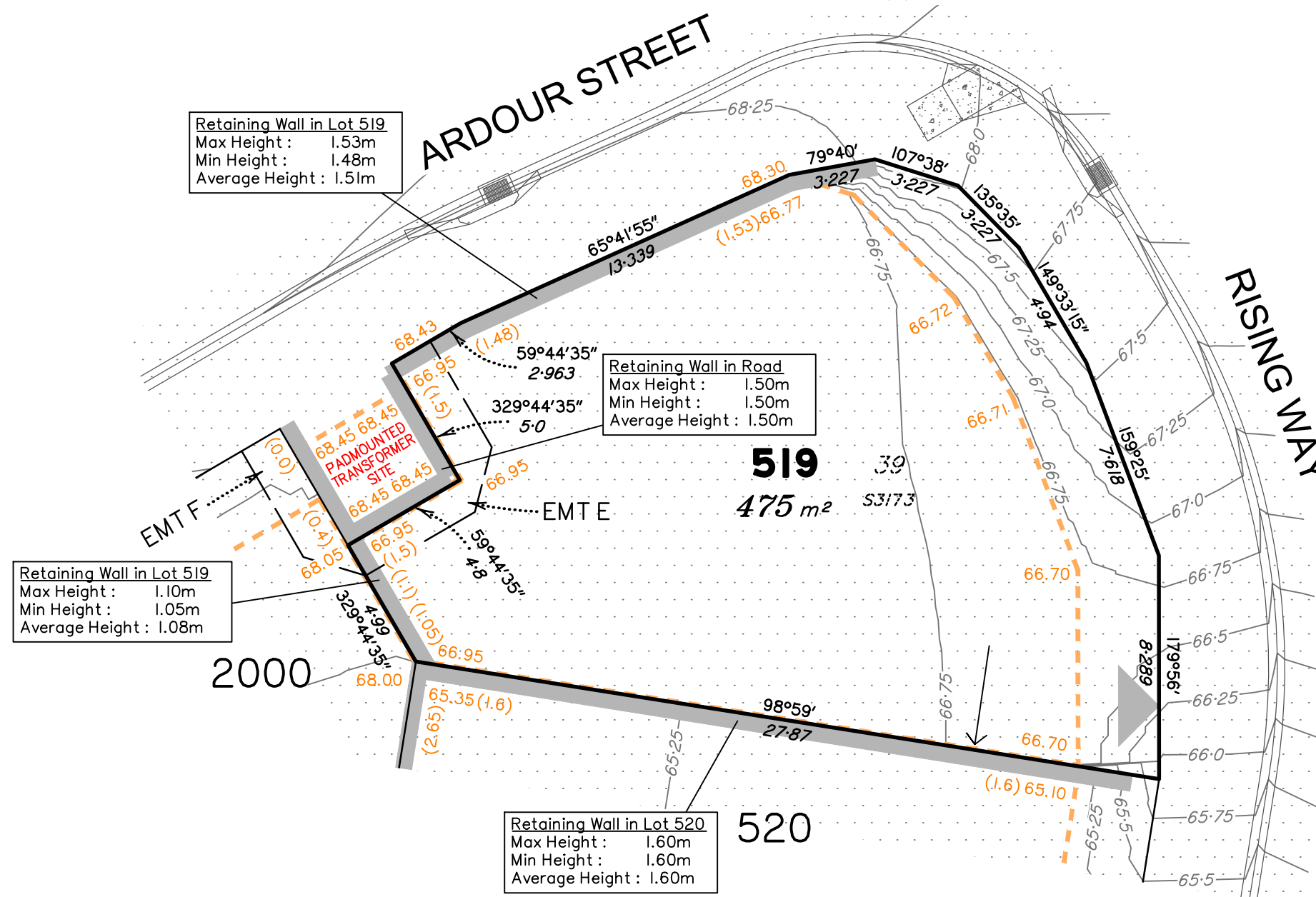
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PSM 49894  
RL of Origin: 62.350  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Dwg No. 9780 S 71 DP A\_518





## STAGE 17



### LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
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Lot 519 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

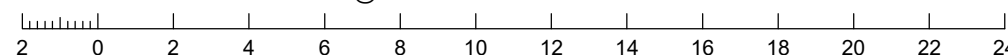
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

Lot 519 contains Easement E for services benefiting Energen.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



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### Disclosure Plan for Proposed Lot 519 (Restricted) on SP351257

Described as part of Lot 2000 (Restricted) on SP348235  
Existing Title Reference: 51378371

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PSM 49894  
RL of Origin: 62.350  
Contour Interval: 0.25m

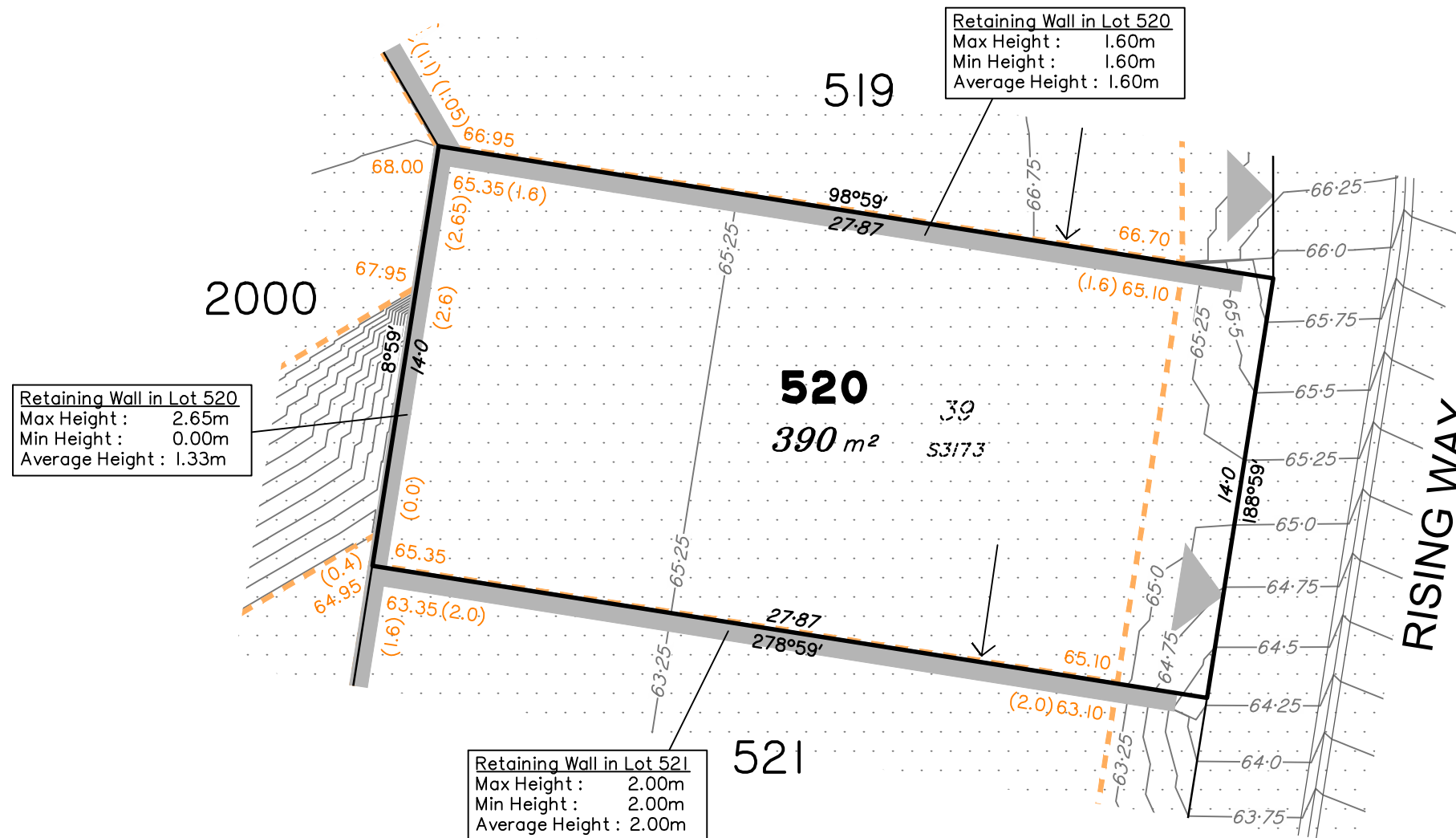
Scale @A3 1: 200

Dwg No. 9780 S 71 DP A\_519

No.	by	Date	Chkd	Description
A	MS	07/04/25	PS	Original Issue



## STAGE 17



### LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
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- Proposed Driveway Location

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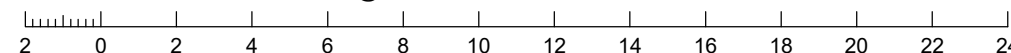
Lot 520 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



Issues	No.	by	Date	Chkd	Description
	A	MS	07/04/25	PS	Original Issue



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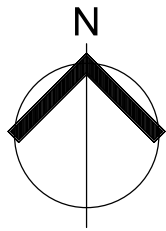
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### Disclosure Plan for Proposed Lot 520 (Restricted) on SP351257

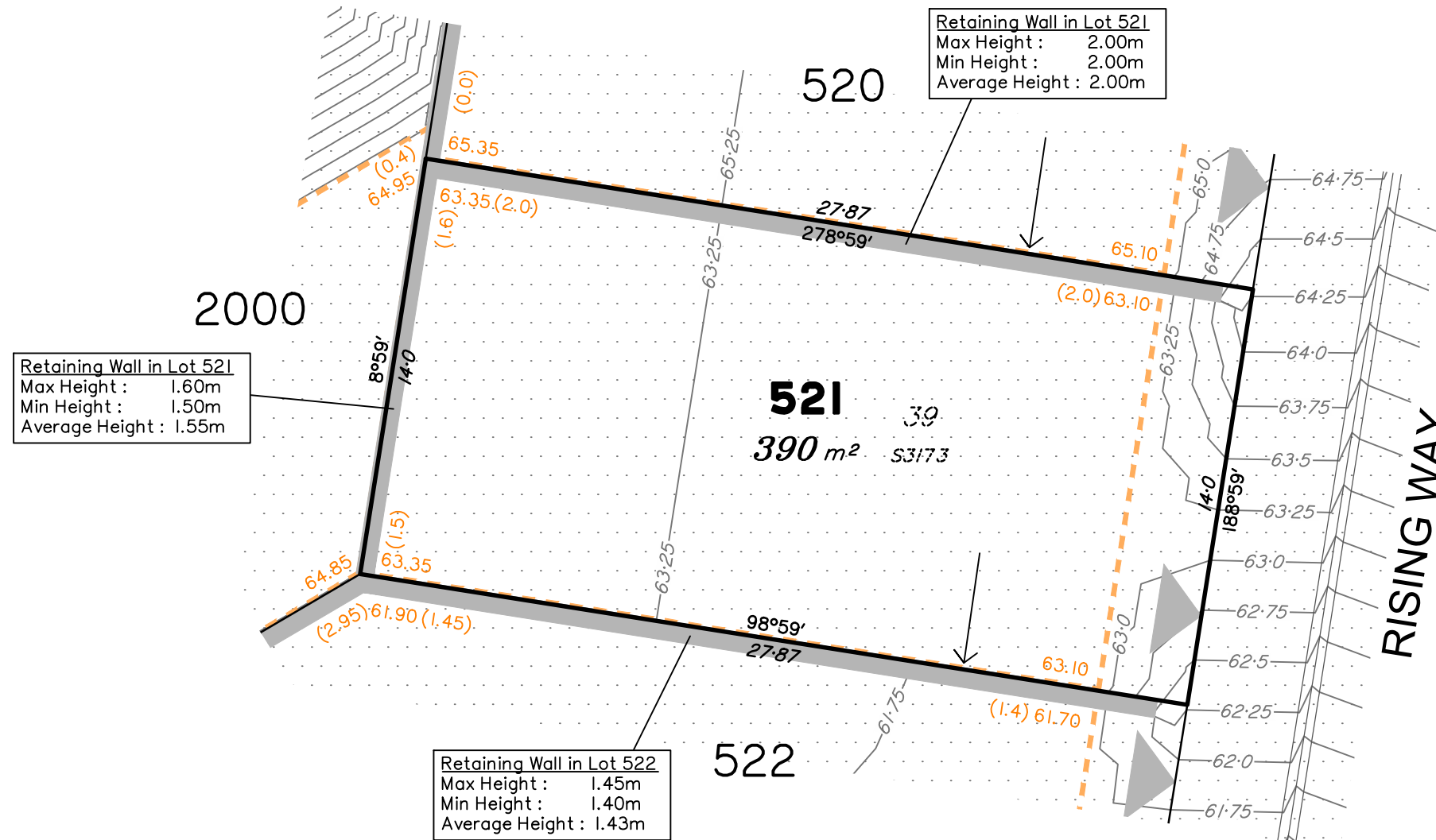
Described as part of Lot 2000 (Restricted) on SP348235  
Existing Title Reference: 51378371

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PSM 49894  
RL of Origin: 62.350  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Dwg No. 9780 S 71 DP A\_520



## STAGE 17



### LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

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### NOTES

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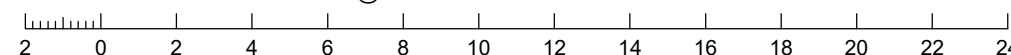
Lot 521 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



No.	by	Date	Chkd	Description
A	MS	07/04/25	PS	Original Issue



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### Disclosure Plan for Proposed Lot 521 (Restricted) on SP351257

Described as part of Lot 2000 (Restricted) on SP348235  
Existing Title Reference: 51378371

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PSM 49894  
RL of Origin: 62.350  
Contour Interval: 0.25m

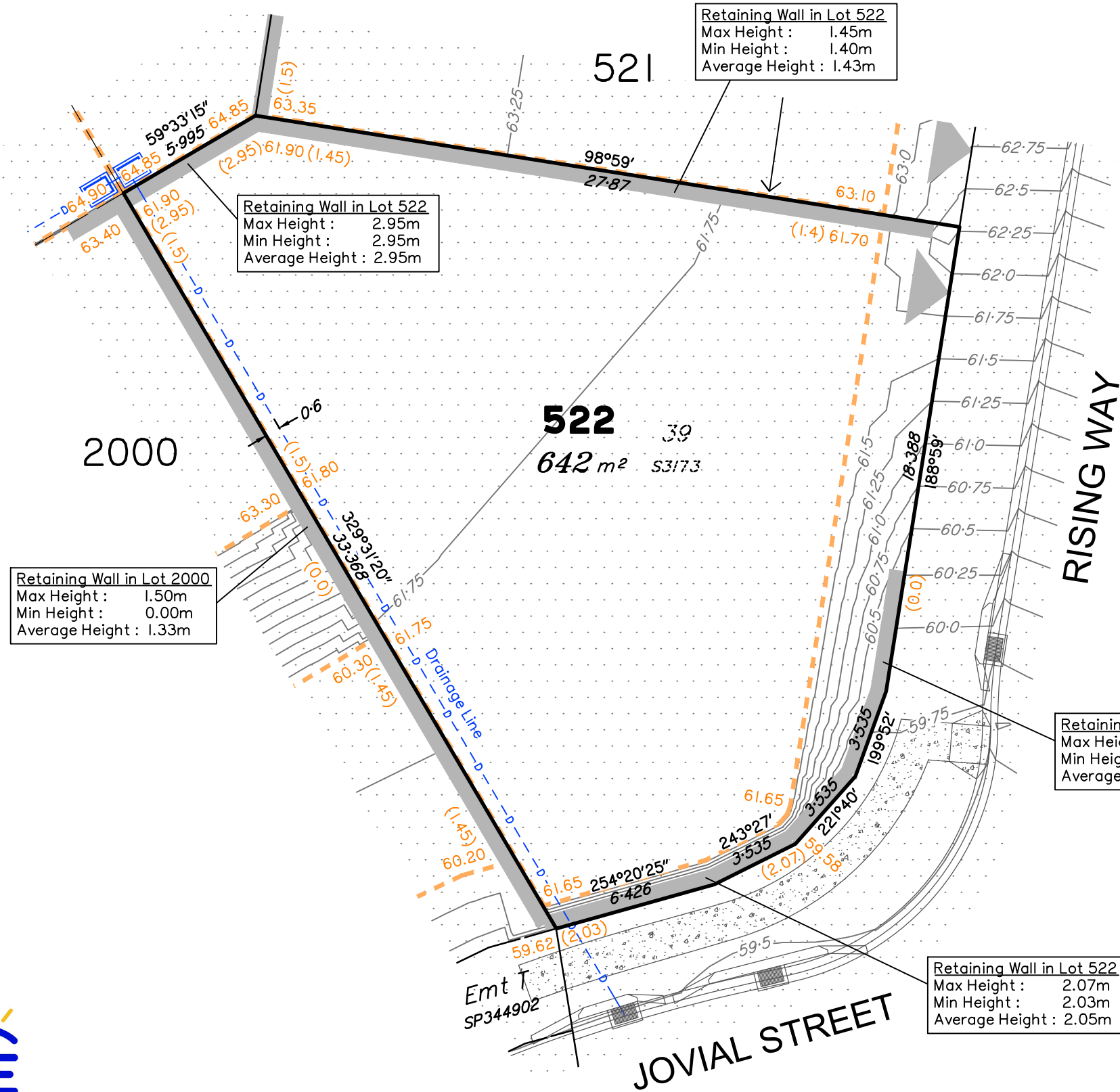
Scale @A3 1: 200

Dwg No. 9780 S 71 DP A\_521





# STAGE 17



## LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

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## NOTES

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The relevant authorities have not yet granted operational works approval for the proposed lot.

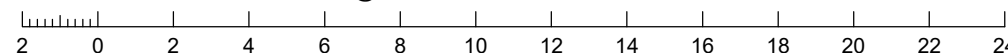
Lot 522 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

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SCALE @A3 1:200 - LENGTHS ARE IN METRES



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## Disclosure Plan for Proposed Lot 522 (Restricted) on SP351257

Described as part of Lot 2000 (Restricted) on SP348235  
Existing Title Reference: 51378371

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PSM 49894  
RL of Origin: 62.350  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Dwg No. 9780 S 71 DP A\_522

Issues	No.	by	Date	Chkd	Description
	A	MS	07/04/25	PS	Original Issue





CUNNINGHAM HIGHWAY

Retaining Wall in Lot 546  
Max Height : 0.75m  
Min Height : 0.00m  
Average Height : 0.38m

546  
489 m<sup>2</sup>

40  
S3173

547

545  
SP348235

ARDOUR STREET

SCALE @A3 1:200 - LENGTHS ARE IN METRES

2 0 2 4 6 8 10 12 14 16 18 20 22 24

STAGE 17

## LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall  
(Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

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## NOTES

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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 546 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

**BELLEVUE**  
RIPLEY

**SH** saunders  
havill  
group

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head office 9 Thompson St Bowen Hills Q 4006  
phone 1300 123 SHG web www.saundershavill.com

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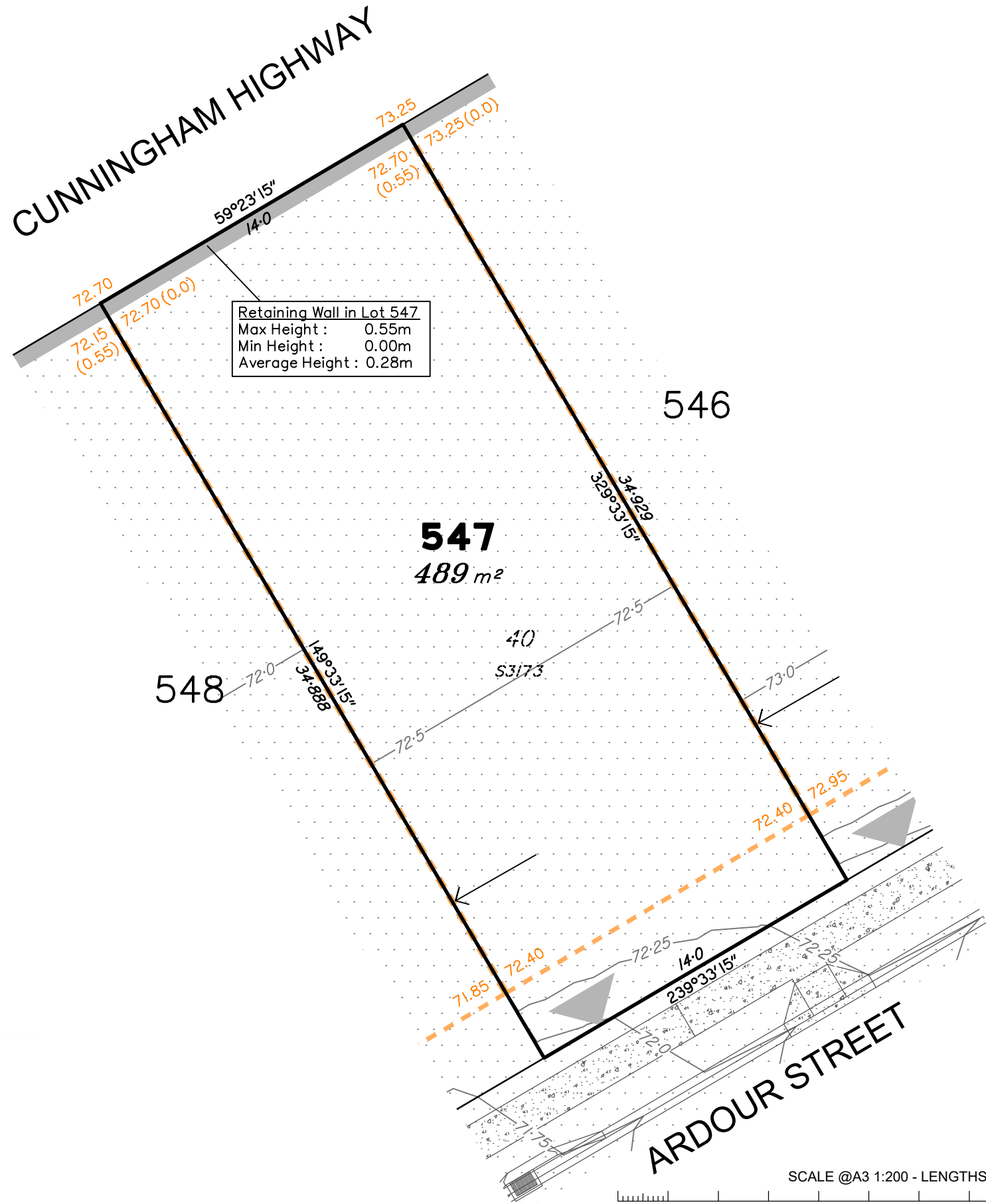
## Disclosure Plan for Proposed Lot 546 (Restricted) on SP351257

Described as part of Lot 2000 (Restricted) on SP348235  
Existing Title Reference: 51378371

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PSM 49894  
RL of Origin: 62.350  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Dwg No. 9780 S 71 DP A\_546

Issue	No.	by	Date	Chkd	Description
	A	MS	07/04/25	PS	Original Issue



## STAGE 17

### LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- XX.XX Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

### NOTES

This plan has been prepared from preliminary survey plan (SP351257) and engineering plans provided on the 03/04/25 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 547 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



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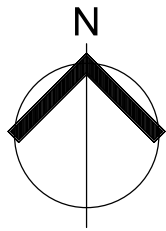
## Disclosure Plan for Proposed Lot 547 (Restricted) on SP351257

Described as part of Lot 2000 (Restricted) on SP348235  
Existing Title Reference: 51378371

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PSM 49894  
RL of Origin: 62.350  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Dwg No. 9780 S 71 DP A\_547

Issue	No.	by	Date	Chkd	Description
	A	MS	07/04/25	PS	Original Issue



CUNNINGHAM HIGHWAY

STAGE 17

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351257) and engineering plans provided on the 03/04/25 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 548 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

Retaining Wall in Lot 549  
Max Height : 0.65m  
Min Height : 0.65m  
Average Height : 0.65m

Retaining Wall in Lot 548  
Max Height : 0.55m  
Min Height : 0.35m  
Average Height : 0.45m

547

548  
436 m<sup>2</sup>

549

40  
S3173

ARDOUR STREET

SCALE @A3 1:200 - LENGTHS ARE IN METRES

2 0 2 4 6 8 10 12 14 16 18 20 22 24

BELLEVUE  
RIPLEY

saunders  
havill  
group

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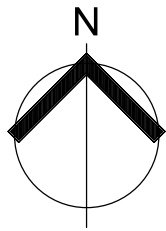
Disclosure Plan for Proposed Lot 548 (Restricted) on SP351257

Described as part of Lot 2000 (Restricted) on SP348235  
Existing Title Reference: 51378371

Locality of Ripley (Ipswich City Council)

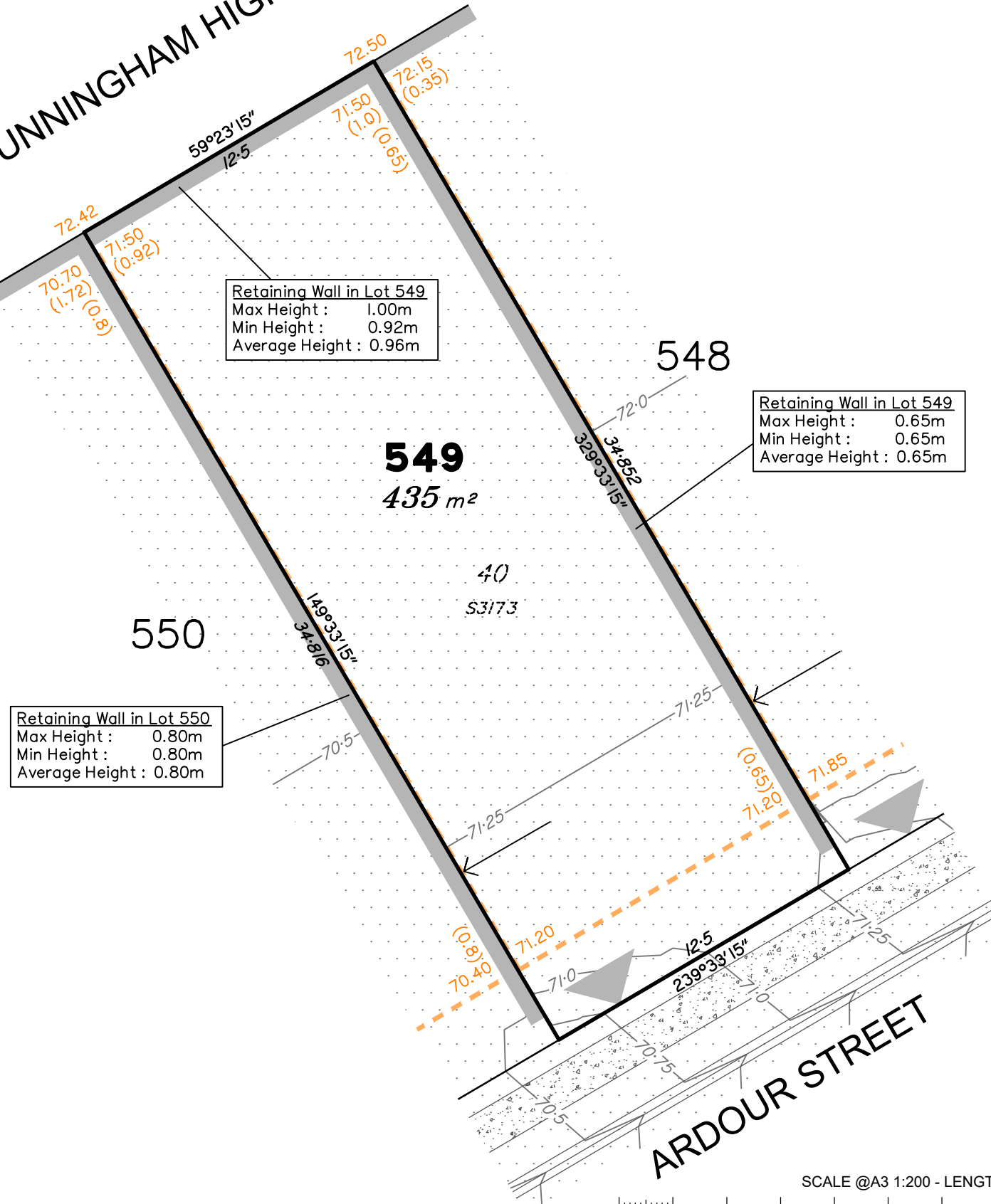
Level Datum: AHD der.  
Origin of Levels: PSM 49894  
RL of Origin: 62.350  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Dwg No. 9780 S 71 DP A\_548

Issue	No.	by	Date	Chkd	Description
	A	MS	07/04/25	PS	Original Issue



## STAGE 17

CUNNINGHAM HIGHWAY



### LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

### NOTES

This plan has been prepared from preliminary survey plan (SP351257) and engineering plans provided on the 03/04/25 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 549 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

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Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



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### Disclosure Plan for Proposed Lot 549 (Restricted) on SP351257

Described as part of Lot 2000 (Restricted) on SP348235  
Existing Title Reference: 51378371

Locality of Ripley (Ipswich City Council)

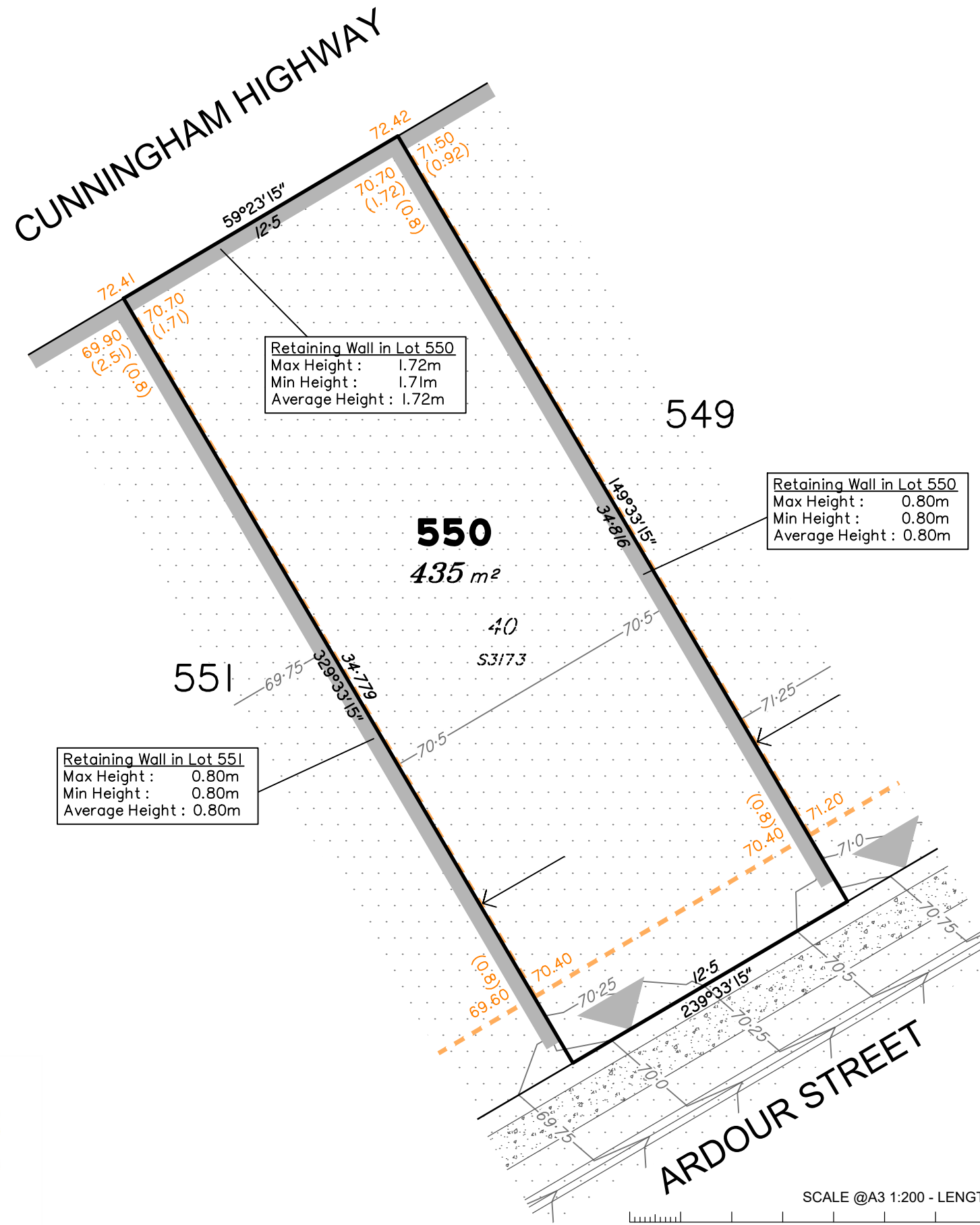
Level Datum: AHD der.  
Origin of Levels: PSM 49894  
RL of Origin: 62.350  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Dwg No. 9780 S 71 DP A\_549

Issue	No.	by	Date	Chkd	Description
	A	MS	07/04/25	PS	Original Issue





# STAGE 17



## LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

## NOTES

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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 550 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



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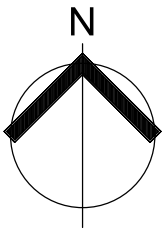
## Disclosure Plan for Proposed Lot 550 (Restricted) on SP351257

Described as part of Lot 2000 (Restricted) on SP348235  
Existing Title Reference: 51378371

Locality of Ripley (Ipswich City Council)

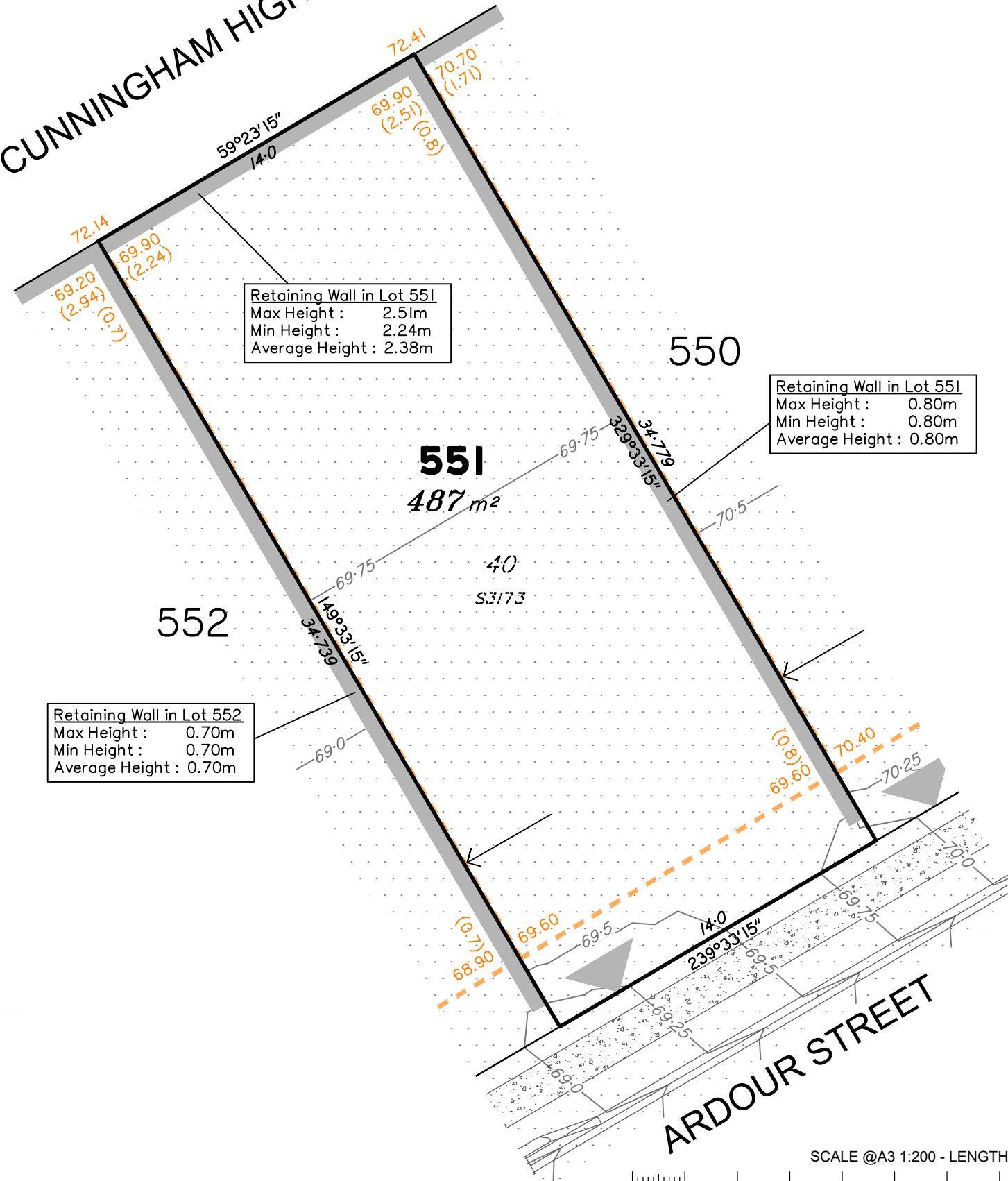
Level Datum: AHD der.  
Origin of Levels: PSM 49894  
RL of Origin: 62.350  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Dwg No. 9780 S 71 DP A\_550

Issue	No.	by	Date	Chkd	Description
	A	MS	07/04/25	PS	Original Issue



## STAGE 17

CUNNINGHAM HIGHWAY



### LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
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- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

### NOTES

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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 551 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



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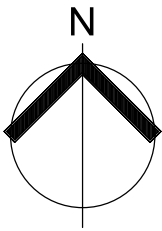
### Disclosure Plan for Proposed Lot 551 (Restricted) on SP351257

Described as part of Lot 2000 (Restricted) on SP348235  
Existing Title Reference: 51378371

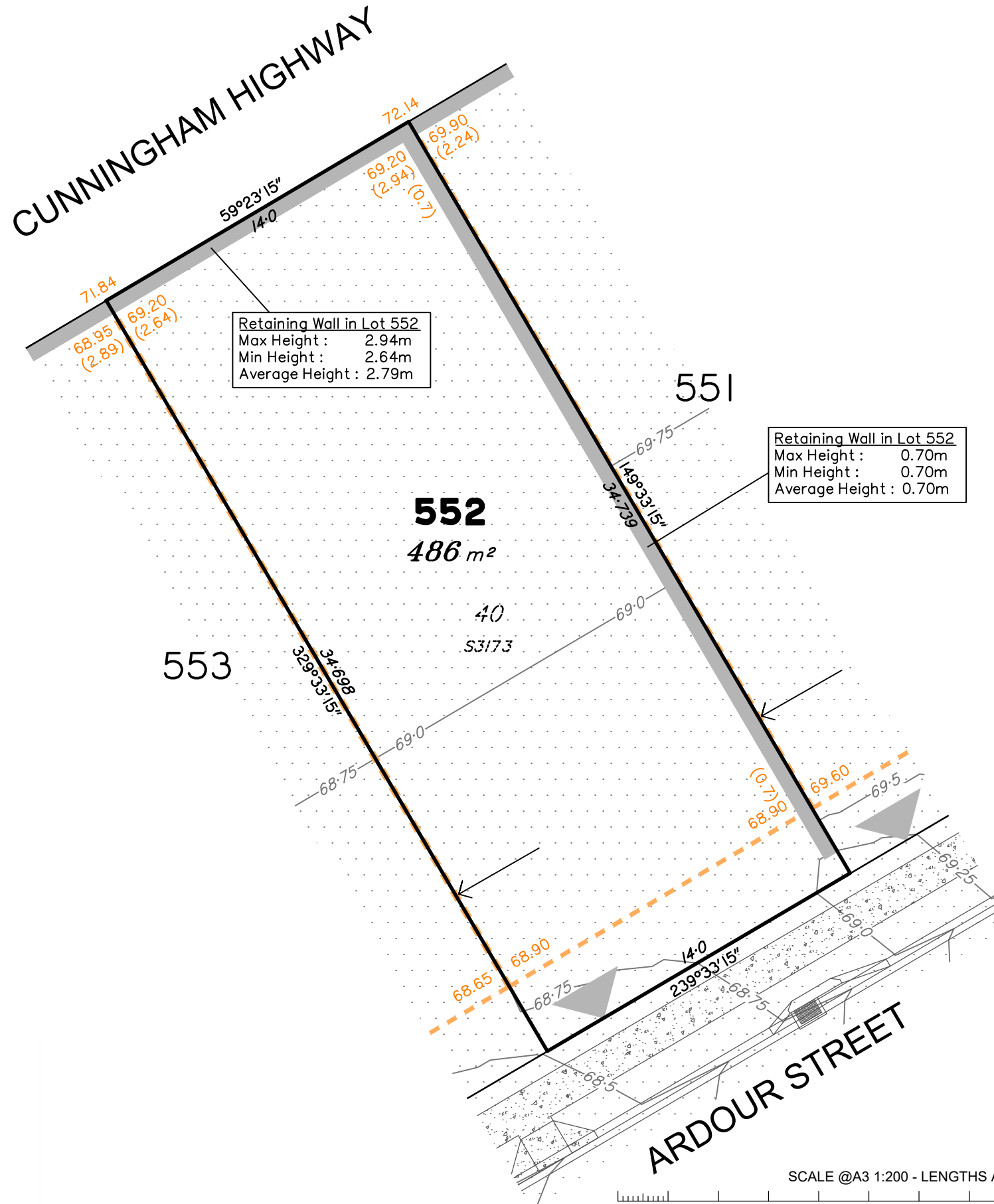
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PSM 49894  
RL of Origin: 62.350  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Dwg No. 9780 S 71 DP A\_551

Issue	No.	by	Date	Chkd	Description
	A	MS	07/04/25	PS	Original Issue



# STAGE 17



## LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

## NOTES

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The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 552 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

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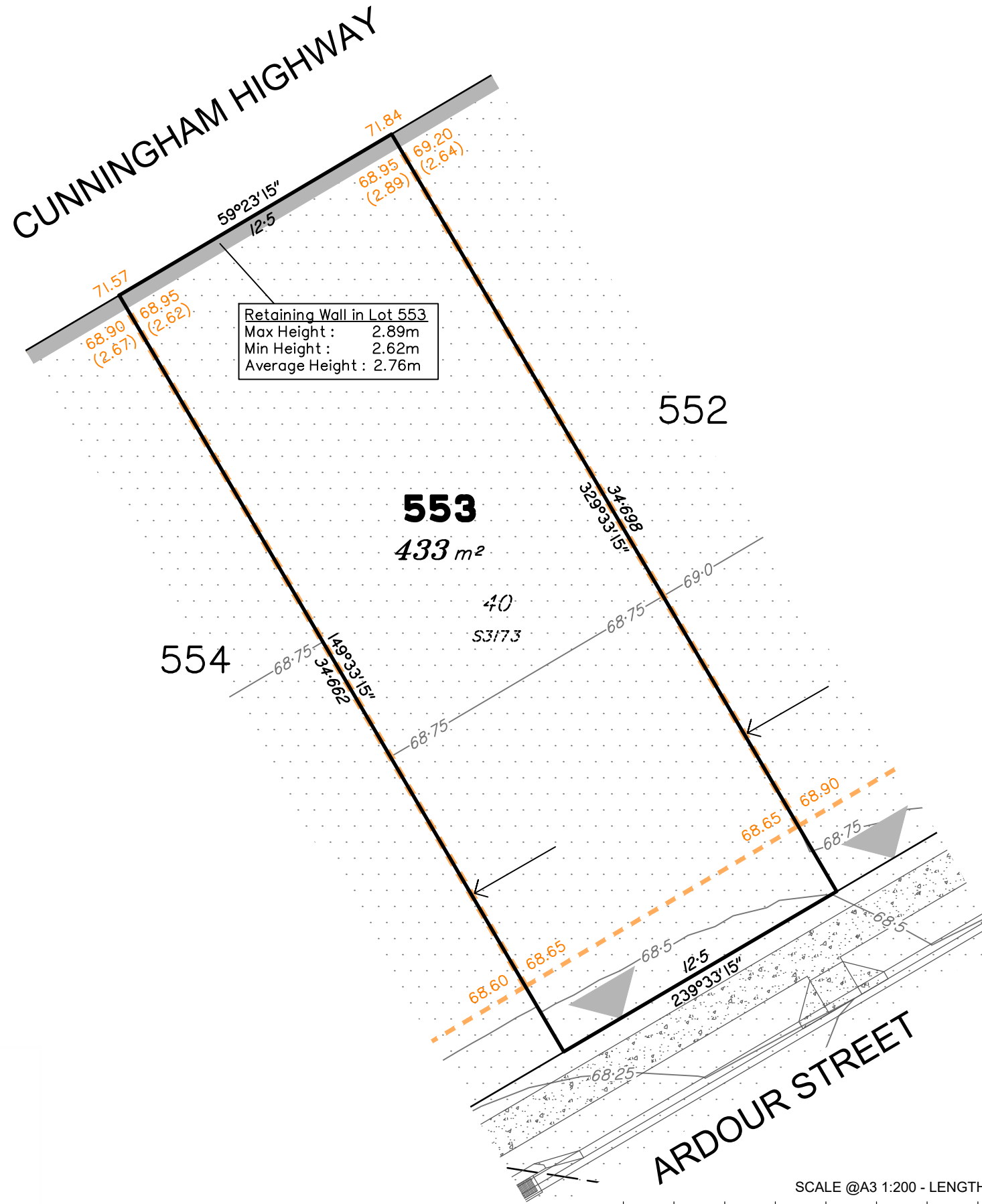
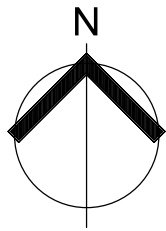
## Disclosure Plan for Proposed Lot 552 (Restricted) on SP351257

Described as part of Lot 2000 (Restricted) on SP348235  
Existing Title Reference: 51378371

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PSM 49894  
RL of Origin: 62.350  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Dwg No. 9780 S 71 DP A\_552

Issue	No.	by	Date	Chkd	Description
	A	MS	07/04/25	PS	Original Issue



## STAGE 17

### LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- XX.XX Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

### NOTES

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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 553 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



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### Disclosure Plan for Proposed Lot 553 (Restricted) on SP351257

Described as part of Lot 2000 (Restricted) on SP348235  
Existing Title Reference: 51378371

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PSM 49894  
RL of Origin: 62.350  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Dwg No. 9780 S 71 DP A\_553

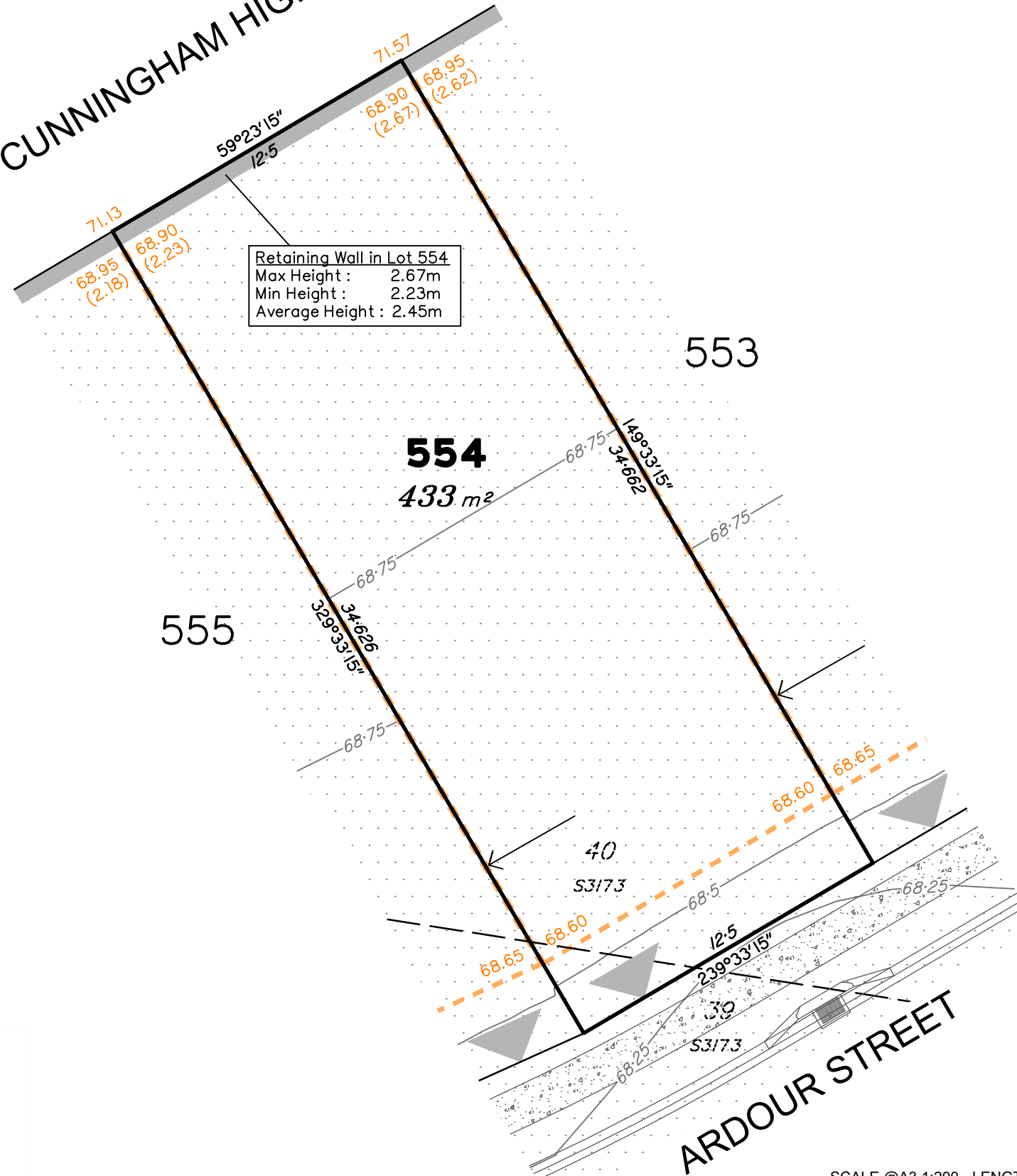
Issue	No.	by	Date	Chkd	Description
	A	MS	07/04/25	PS	Original Issue





# STAGE 17

CUNNINGHAM HIGHWAY



Retaining Wall in Lot 554  
Max Height : 2.67m  
Min Height : 2.23m  
Average Height : 2.45m

553

554

433 m²

555

40

S3173

ARDOUR STREET

SCALE @A3 1:200 - LENGTHS ARE IN METRES

2 0 2 4 6 8 10 12 14 16 18 20 22 24

## LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

## NOTES

This plan has been prepared from preliminary survey plan (SP351257) and engineering plans provided on the 03/04/25 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 554 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

**BELLEVUE**  
RIPLEY

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## Disclosure Plan for Proposed Lot 554 (Restricted) on SP351257

Described as part of Lot 2000 (Restricted) on SP348235  
Existing Title Reference: 51378371

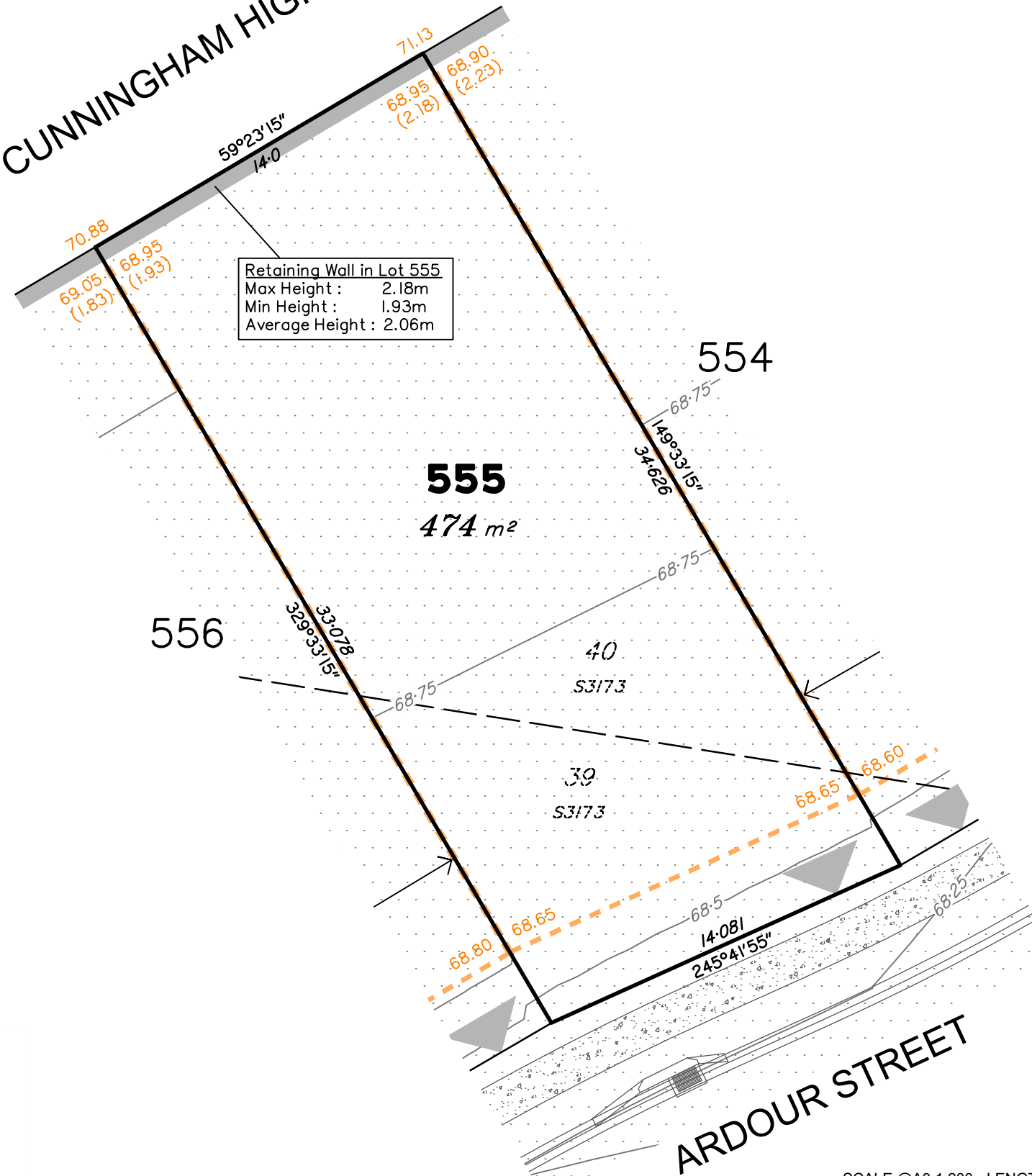
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PSM 49894  
RL of Origin: 62.350  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Dwg No. 9780 S 71 DP A\_554

Issue	No.	by	Date	Chkd	Description
	A	MS	07/04/25	PS	Original Issue



CUNNINGHAM HIGHWAY



Retaining Wall in Lot 555  
Max Height : 2.18m  
Min Height : 1.93m  
Average Height : 2.06m

555  
474 m<sup>2</sup>

554

556

**BELLEVUE**  
RIPLEY

**SH** saunders  
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### Disclosure Plan for Proposed Lot 555 (Restricted) on SP351257

Described as part of Lot 2000 (Restricted) on SP348235  
Existing Title Reference: 51378371

Locality of Ripley (Ipswich City Council)

## LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall  
(Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

## NOTES

This plan has been prepared from preliminary survey plan (SP351257) and engineering plans provided on the 03/04/25 by Colliers Engineering & Design.

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The relevant authorities have not yet granted operational works approval for the proposed lot.

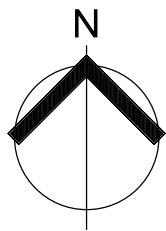
Lot 555 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

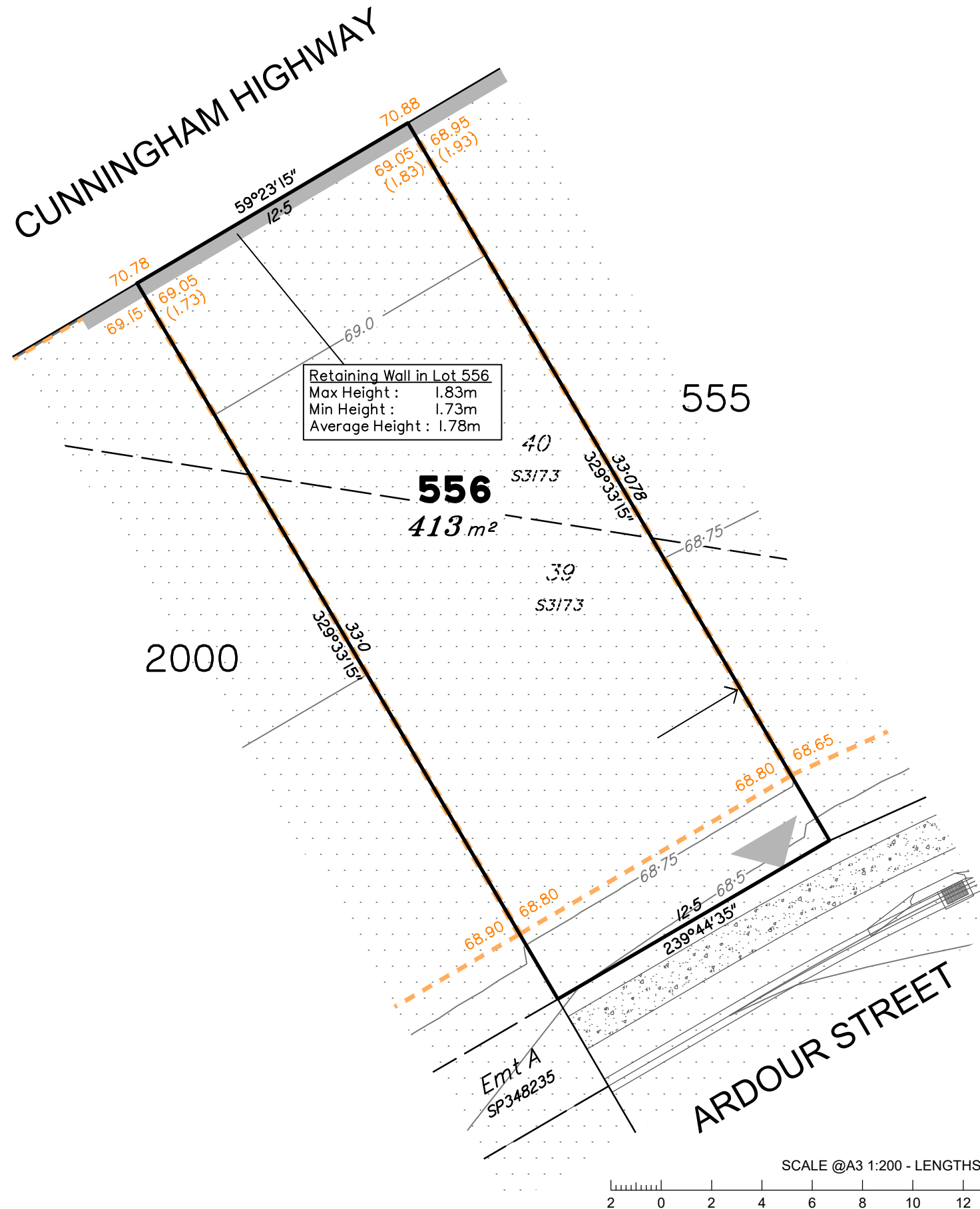
Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

No.	by	Date	Chkd	Description
A	MS	07/04/25	PS	Original Issue

Level Datum: AHD der.  
Origin of Levels: PSM 49894  
RL of Origin: 62.350  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Dwg No. 9780 S 71 DP A\_555



STAGE 17



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
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- Top of Batter
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- Future Development Lot Boundary
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NOTES

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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 556 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



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Disclosure Plan for Proposed Lot 556 (Restricted) on SP351257

Described as part of Lot 2000 (Restricted) on SP348235  
Existing Title Reference: 51378371

Locality of Ripley (Ipswich City Council)

No.	by	Date	Chkd	Description
A	MS	07/04/25	PS	Original Issue

Level Datum: AHD der.  
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RL of Origin: 62.350  
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Dwg No. 9780 S 71 DP A\_556