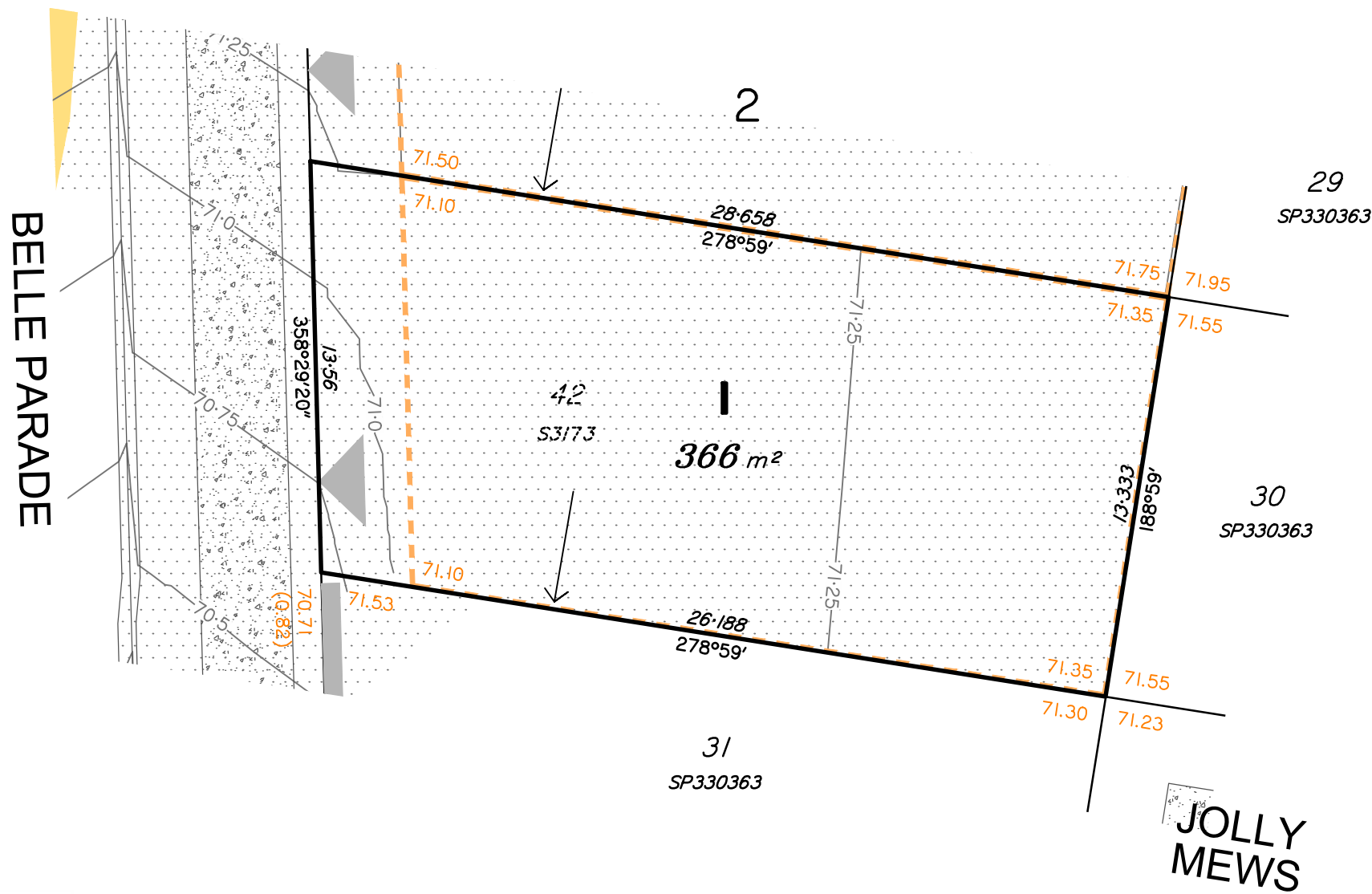


STAGE 14



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351254) and engineering plans provided on the 20/02/25 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

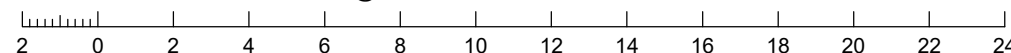
Lot 1 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



Saunders Havill Group Pty Ltd ABN 24 144 972 949
Brisbane Springfield
head office 9 Thompson St Bowen Hills Q 4006
phone 1300 123 SHG web www.saundershavill.com

■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

Disclosure Plan for Proposed Lot 1 (Restricted) on SP351254

Described as part of Lot 3420 (Restricted) on SP348243
Existing Title Reference: 51367245

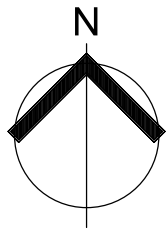
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m

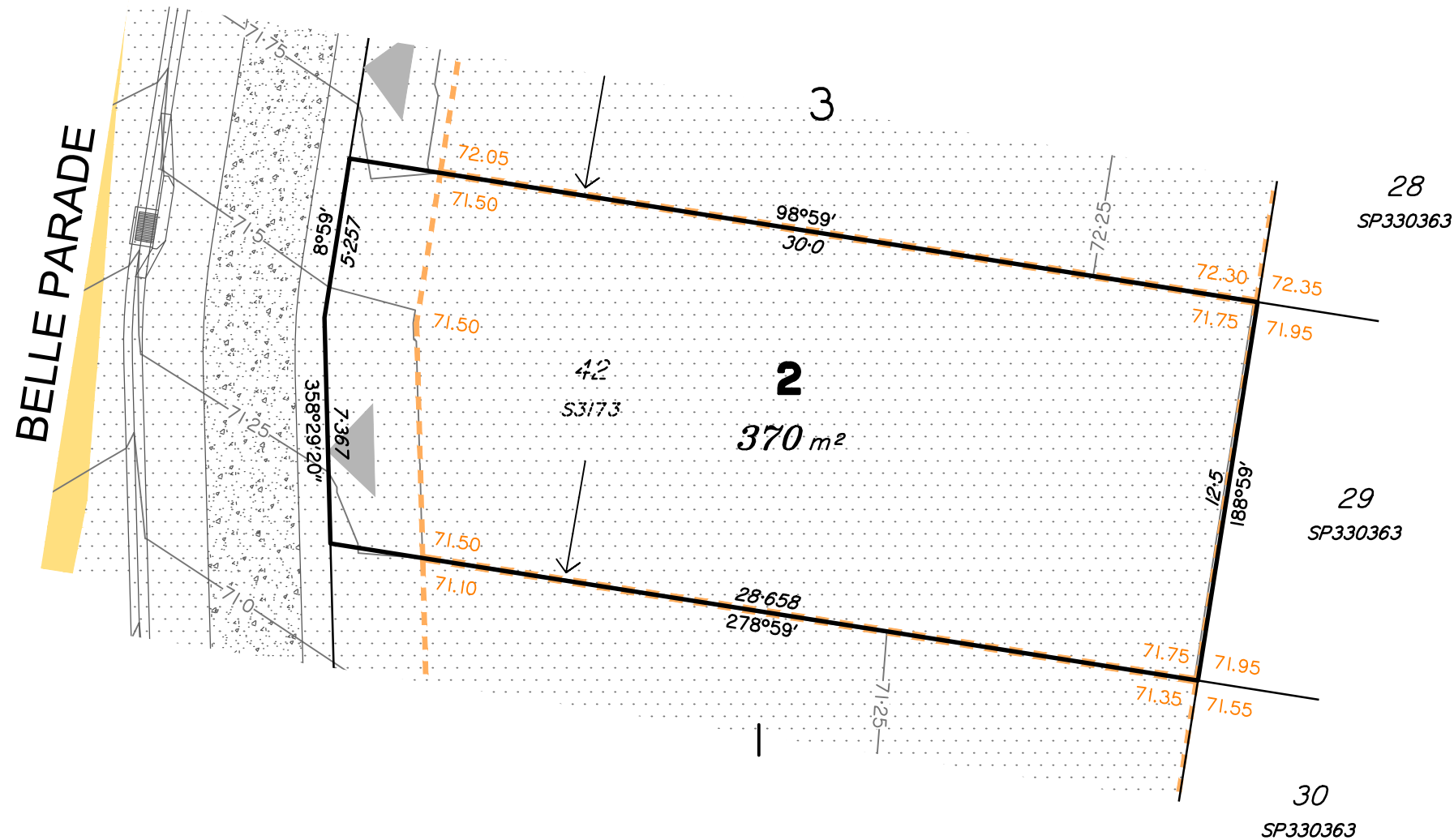
Scale @A3 1: 200

Dwg No. 9780 S 69 DP A_1

Issues	No.	by	Date	Chkd	Description
	A	MS	26/02/25	PS	Original Issue



STAGE 14



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351254) and engineering plans provided on the 20/02/25 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

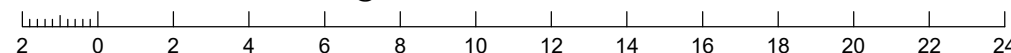
Lot 2 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



Saunders Havill Group Pty Ltd ABN 24 144 972 949
Brisbane Springfield
head office 9 Thompson St Bowen Hills Q 4006
phone 1300 123 SHG web www.saundershavill.com

■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

Disclosure Plan for Proposed Lot 2 (Restricted) on SP351254

Described as part of Lot 3420 (Restricted) on SP348243
Existing Title Reference: 51367245

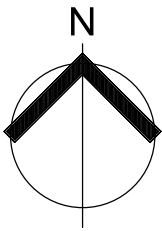
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 69 DP A_2

Issues	No.	by	Date	Chkd	Description
	A	MS	26/02/25	PS	Original Issue



STAGE 14

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351254) and engineering plans provided on the 20/02/25 by Colliers Engineering & Design.

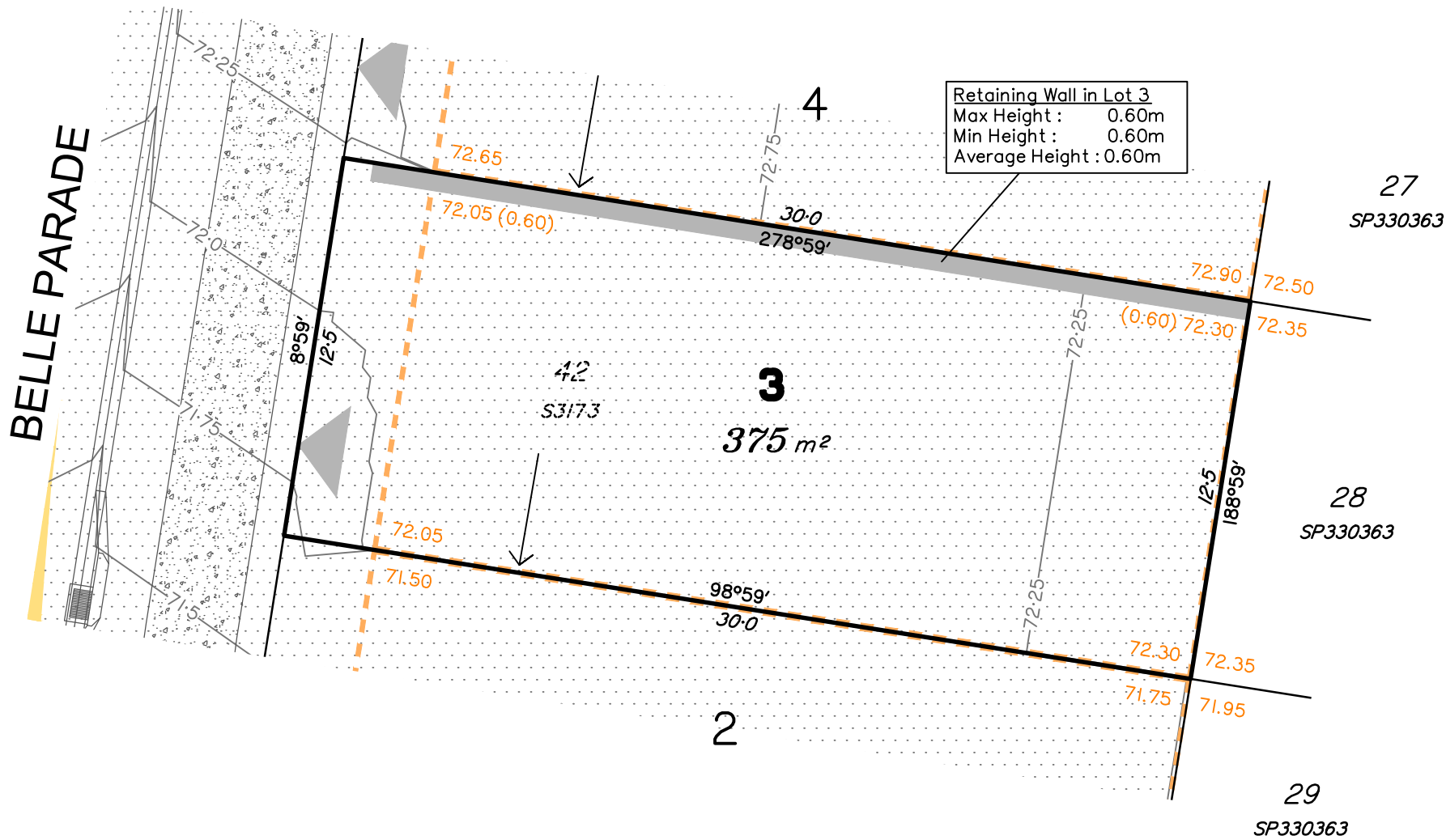
The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

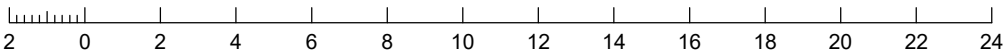
Lot 3 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



Issues	No.	by	Date	Chkd	Description
	A	MS	26/02/25	PS	Original Issue



Saunders Havill Group Pty Ltd ABN 24 144 972 949
Brisbane Springfield
head office 9 Thompson St Bowen Hills Q 4006
phone 1300 123 SHG web www.saundershavill.com

■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

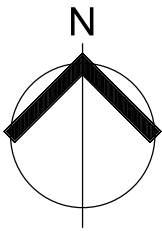
This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

Disclosure Plan for Proposed Lot 3 (Restricted) on SP351254

Described as part of Lot 3420 (Restricted) on SP348243
Existing Title Reference: 51367245

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200
Dwg No. 9780 S 69 DP A_3



STAGE 14

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351254) and engineering plans provided on the 20/02/25 by Colliers Engineering & Design.

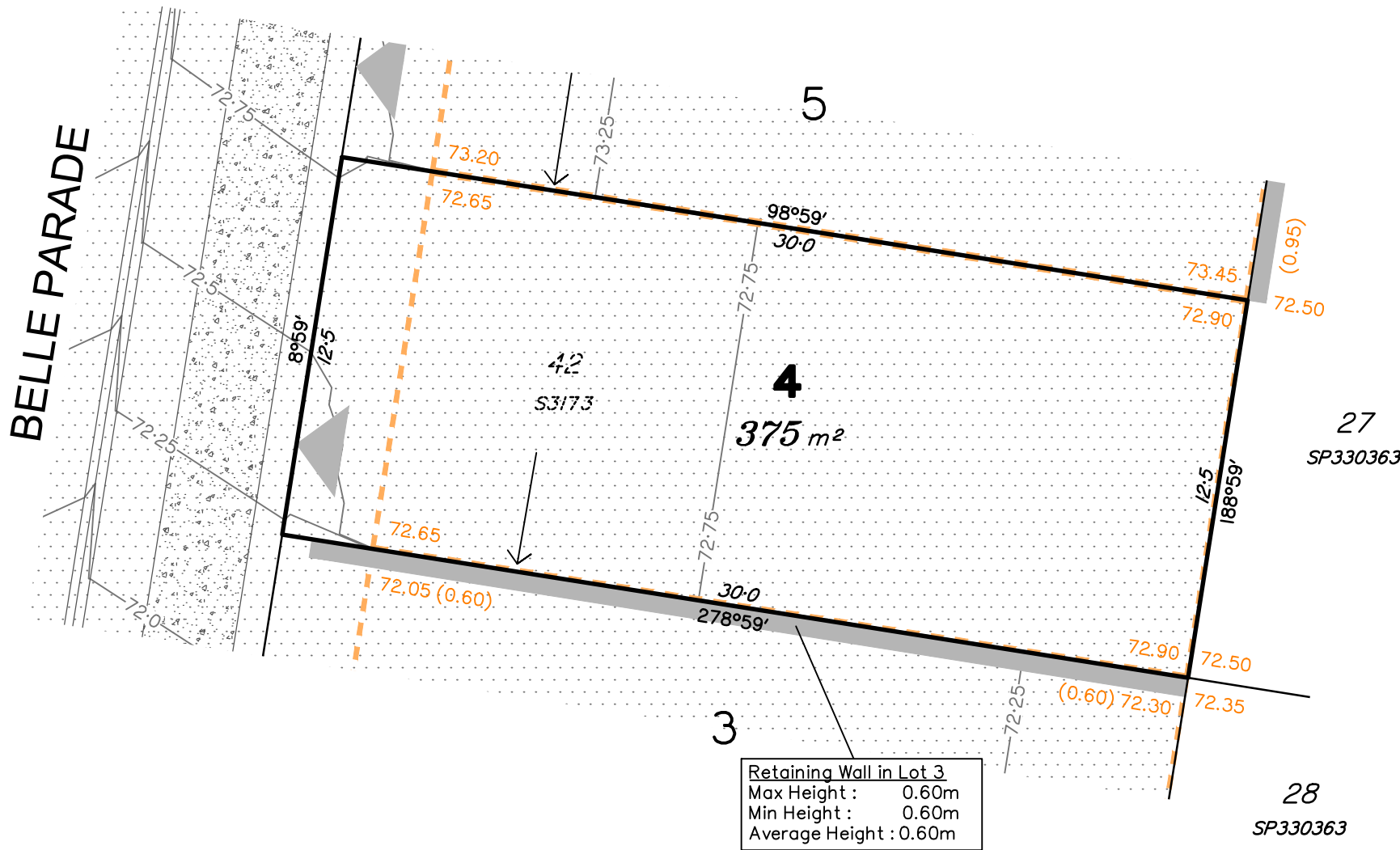
The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 4 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



Issues	No.	by	Date	Chkd	Description
	A	MS	26/02/25	PS	Original Issue



Saunders Havill Group Pty Ltd ABN 24 144 972 949
Brisbane Springfield
head office 9 Thompson St Bowen Hills Q 4006
phone 1300 123 SHG web www.saundershavill.com

■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

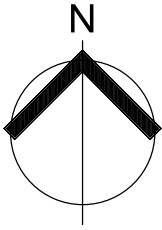
This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

Disclosure Plan for Proposed Lot 4 (Restricted) on SP351254

Described as part of Lot 3420 (Restricted) on SP348243
Existing Title Reference: 51367245

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200
Dwg No. 9780 S 69 DP A_4



STAGE 14

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351254) and engineering plans provided on the 20/02/25 by Colliers Engineering & Design.

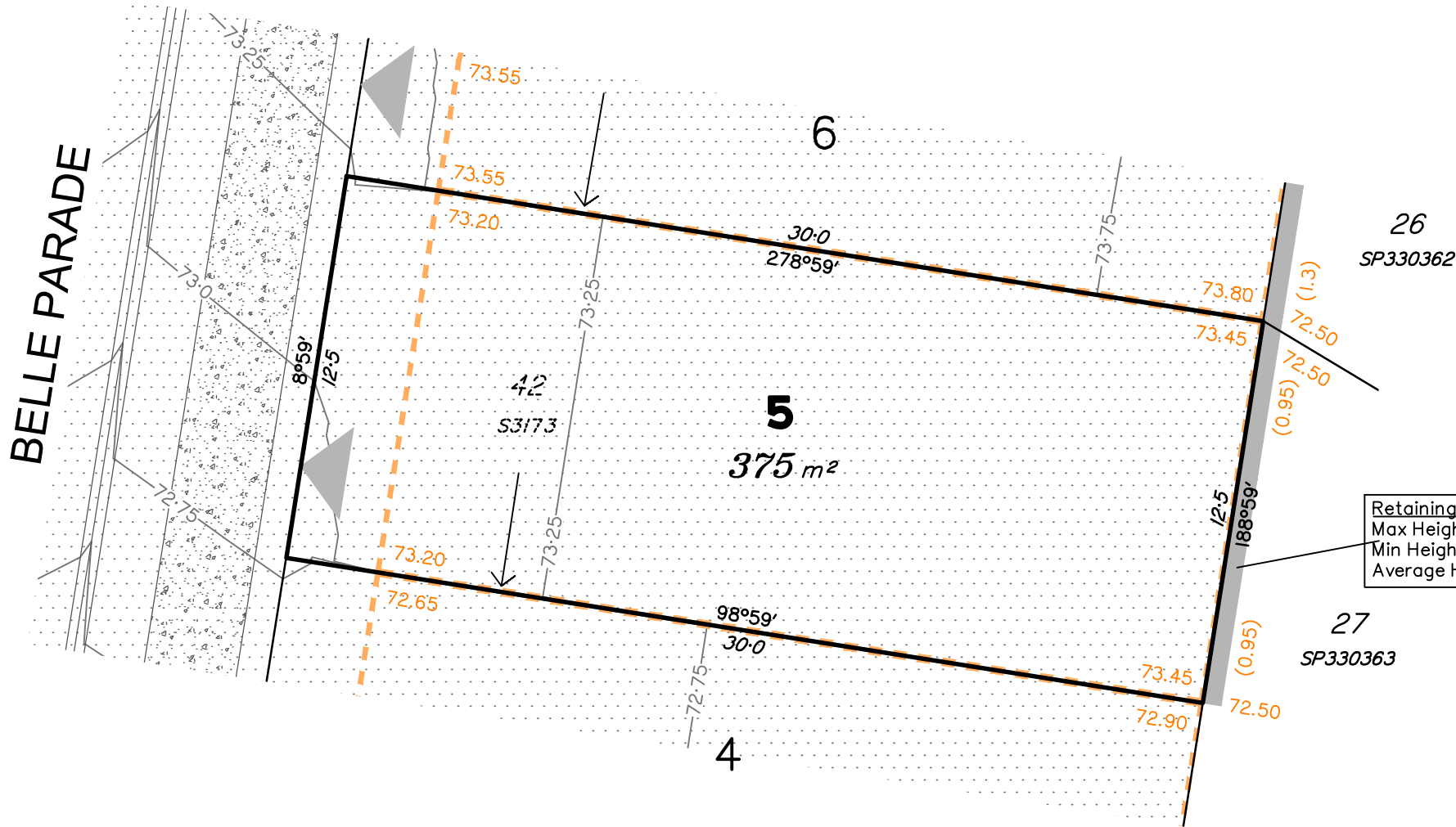
The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 5 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



Retaining Wall in Lot 27
Max Height : 0.95m
Min Height : 0.95m
Average Height : 0.95m



SCALE @A3 1:200 - LENGTHS ARE IN METRES



Issues	No.	by	Date	Chkd	Description
	A	MS	26/02/25	PS	Original Issue



Saunders Havill Group Pty Ltd ABN 24 144 972 949
Brisbane Springfield
head office 9 Thompson St Bowen Hills Q 4006
phone 1300 123 SHG web www.saundershavill.com

■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

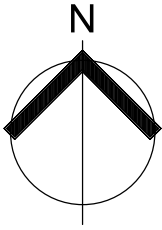
This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

Disclosure Plan for Proposed Lot 5 (Restricted) on SP351254

Described as part of Lot 3420 (Restricted) on SP348243
Existing Title Reference: 51367245

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200
Dwg No. 9780 S 69 DP A_5



STAGE 14

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351254) and engineering plans provided on the 20/02/25 by Colliers Engineering & Design.

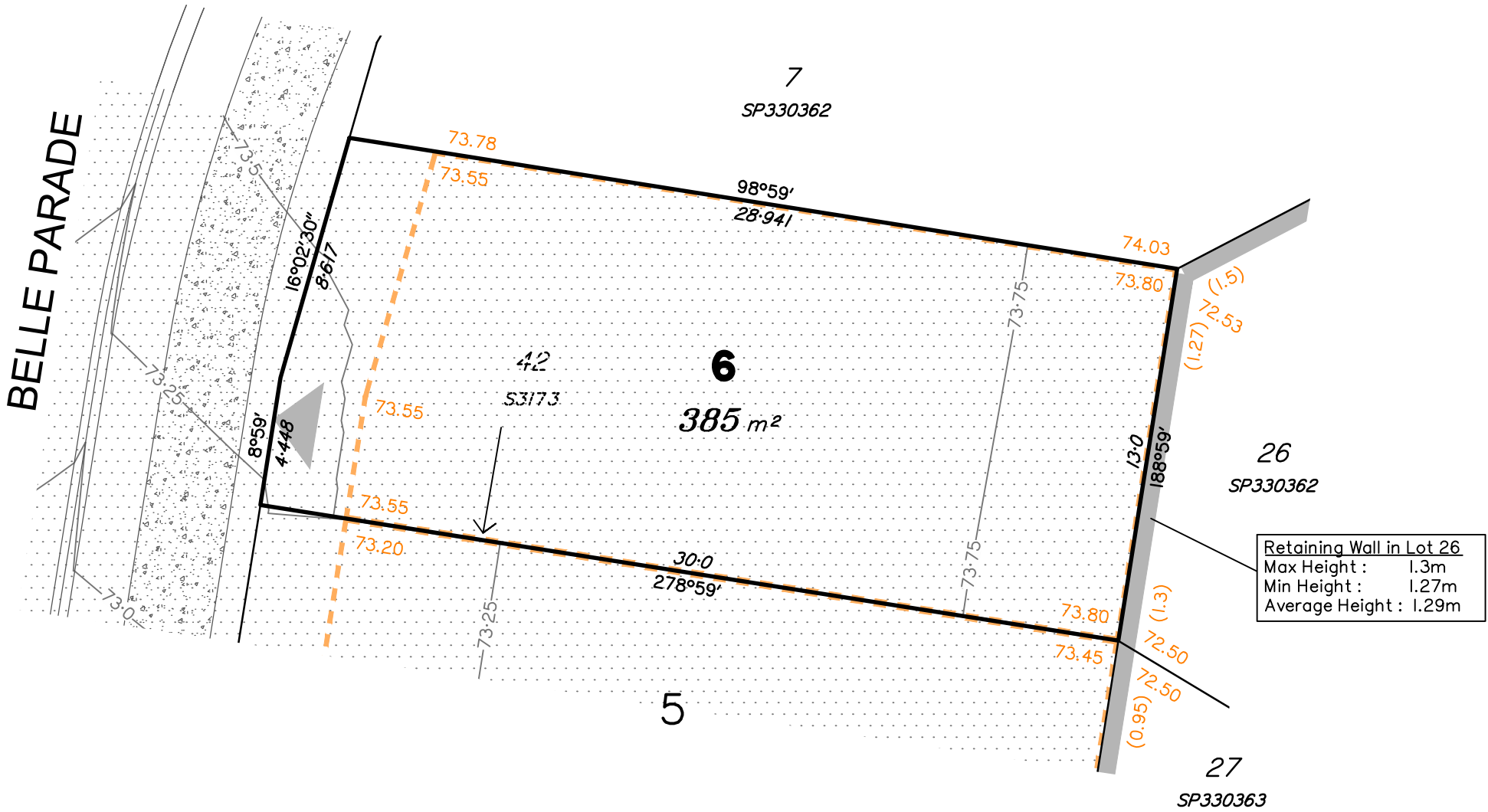
The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

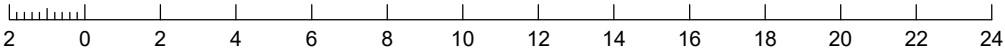
Lot 6 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



Issues	No.	by	Date	Chkd	Description
	A	MS	26/02/25	PS	Original Issue



Saunders Havill Group Pty Ltd ABN 24 144 972 949
Brisbane Springfield
head office 9 Thompson St Bowen Hills Q 4006
phone 1300 123 SHG web www.saundershavill.com

■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

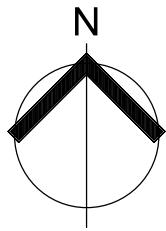
This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

Disclosure Plan for Proposed Lot 6 (Restricted) on SP351254

Described as part of Lot 3420 (Restricted) on SP348243
Existing Title Reference: 51367245

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200
Dwg No. 9780 S 69 DP A_6



STAGE 14

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall
(1.5)
(Height shown in brackets on lower side)
- XX.XX Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351254) and engineering plans provided on the 20/02/25 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 376 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

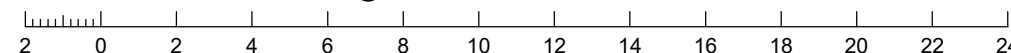
All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

Retaining Wall in Lot 390
Max Height : 2.0m
Min Height : 2.0m
Average Height : 2.0m

Retaining Wall in Lot 376
Max Height : 2.0m
Min Height : 0.65m
Average Height : 1.33m



SCALE @A3 1:200 - LENGTHS ARE IN METRES



Saunders Havill Group Pty Ltd ABN 24 144 972 949
Brisbane Springfield
head office 9 Thompson St Bowen Hills Q 4006
phone 1300 123 SHG web www.saundershavill.com

■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

Disclosure Plan for Proposed Lot 376 (Restricted) on SP351254

Described as part of Lot 3420 (Restricted) on SP348243
Existing Title Reference: 51367245

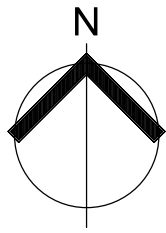
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m

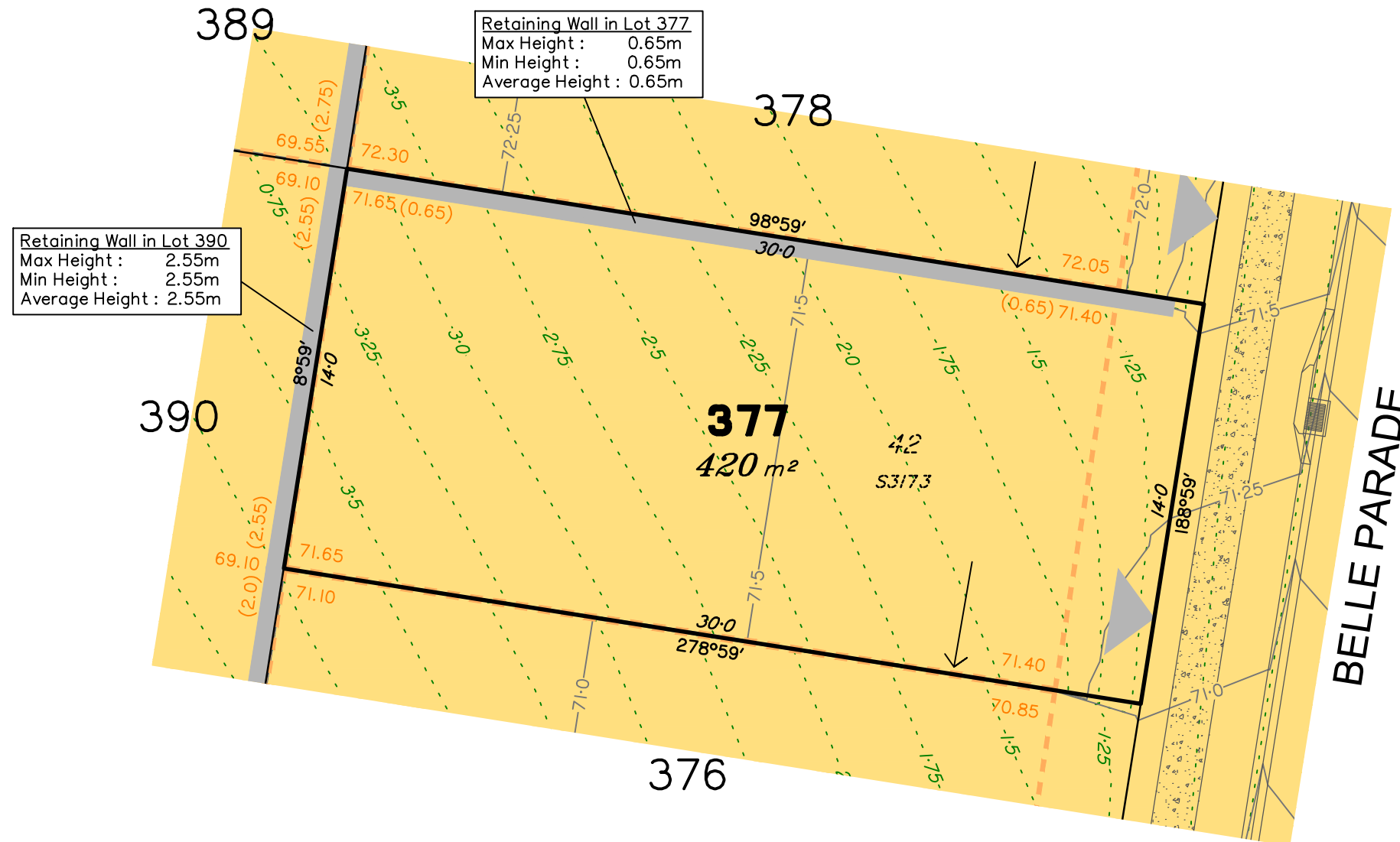
Scale @A3 1: 200

Dwg No. 9780 S 69 DP A_376

Issues	No.	by	Date	Chkd	Description
	A	MS	26/02/25	PS	Original Issue



STAGE 14



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351254) and engineering plans provided on the 20/02/25 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 377 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

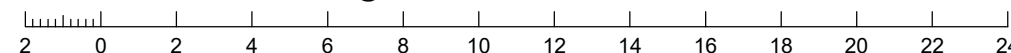
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



No.	by	Date	Chkd	Description
A	MS	26/02/25	PS	Original Issue



Saunders Havill Group Pty Ltd ABN 24 144 972 949
Brisbane Springfield
head office 9 Thompson St Bowen Hills Q 4006
phone 1300 123 SHG web www.saundershavill.com

■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

Disclosure Plan for Proposed Lot 377 (Restricted) on SP351254

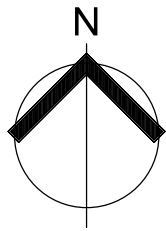
Described as part of Lot 3420 (Restricted) on SP348243
Existing Title Reference: 51367245

Locality of Ripley (Ipswich City Council)

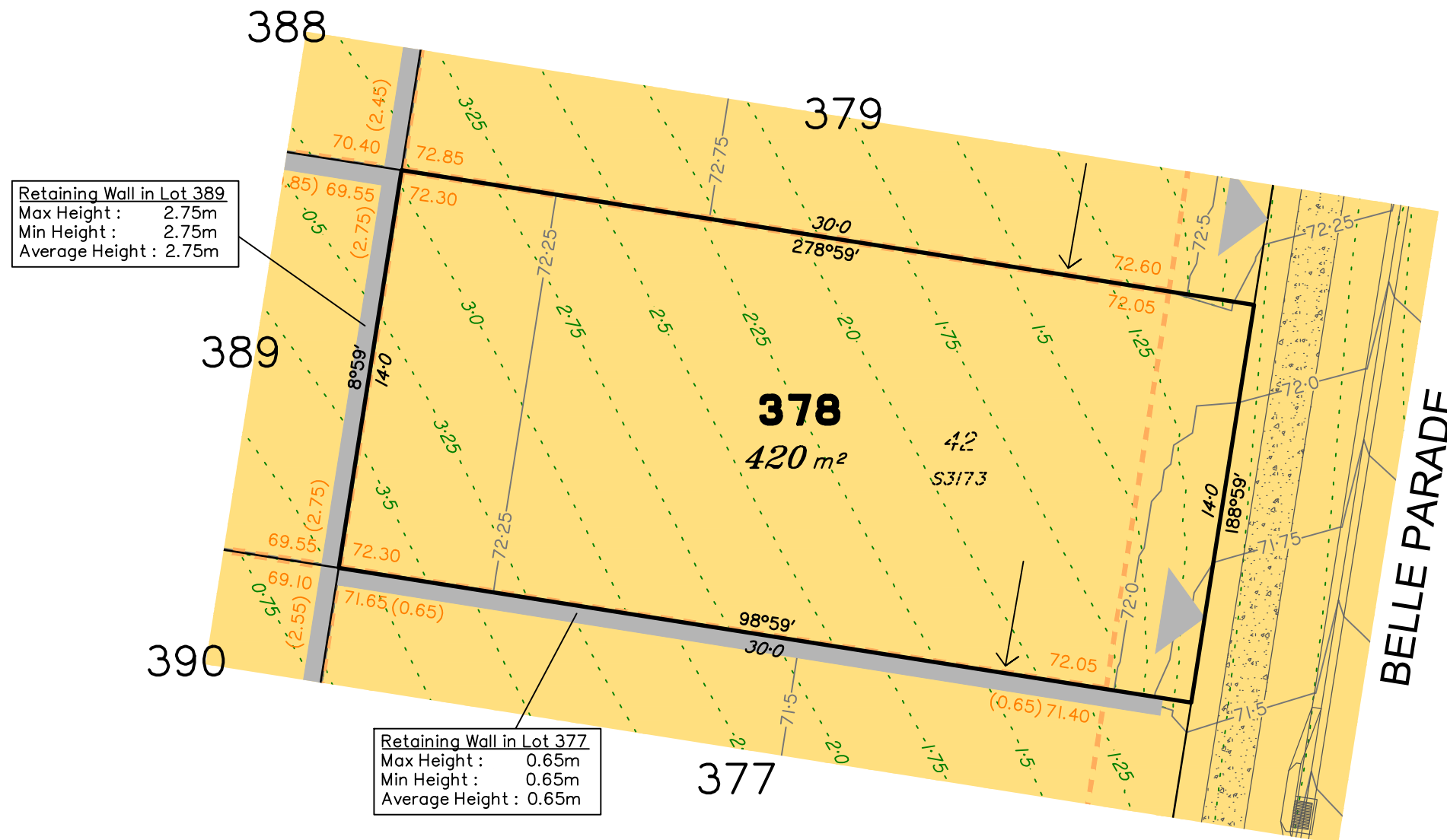
Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 69 DP A_377



STAGE 14



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall
(Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351254) and engineering plans provided on the 20/02/25 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 378 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

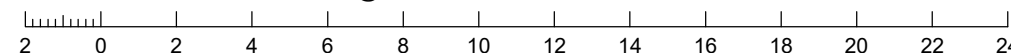
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



Saunders Havill Group Pty Ltd ABN 24 144 972 949
Brisbane Springfield
head office 9 Thompson St Bowen Hills Q 4006
phone 1300 123 SHG web www.saundershavill.com

■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

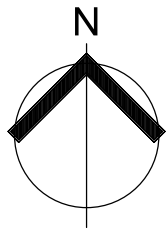
This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

Disclosure Plan for Proposed Lot 378 (Restricted) on SP351254

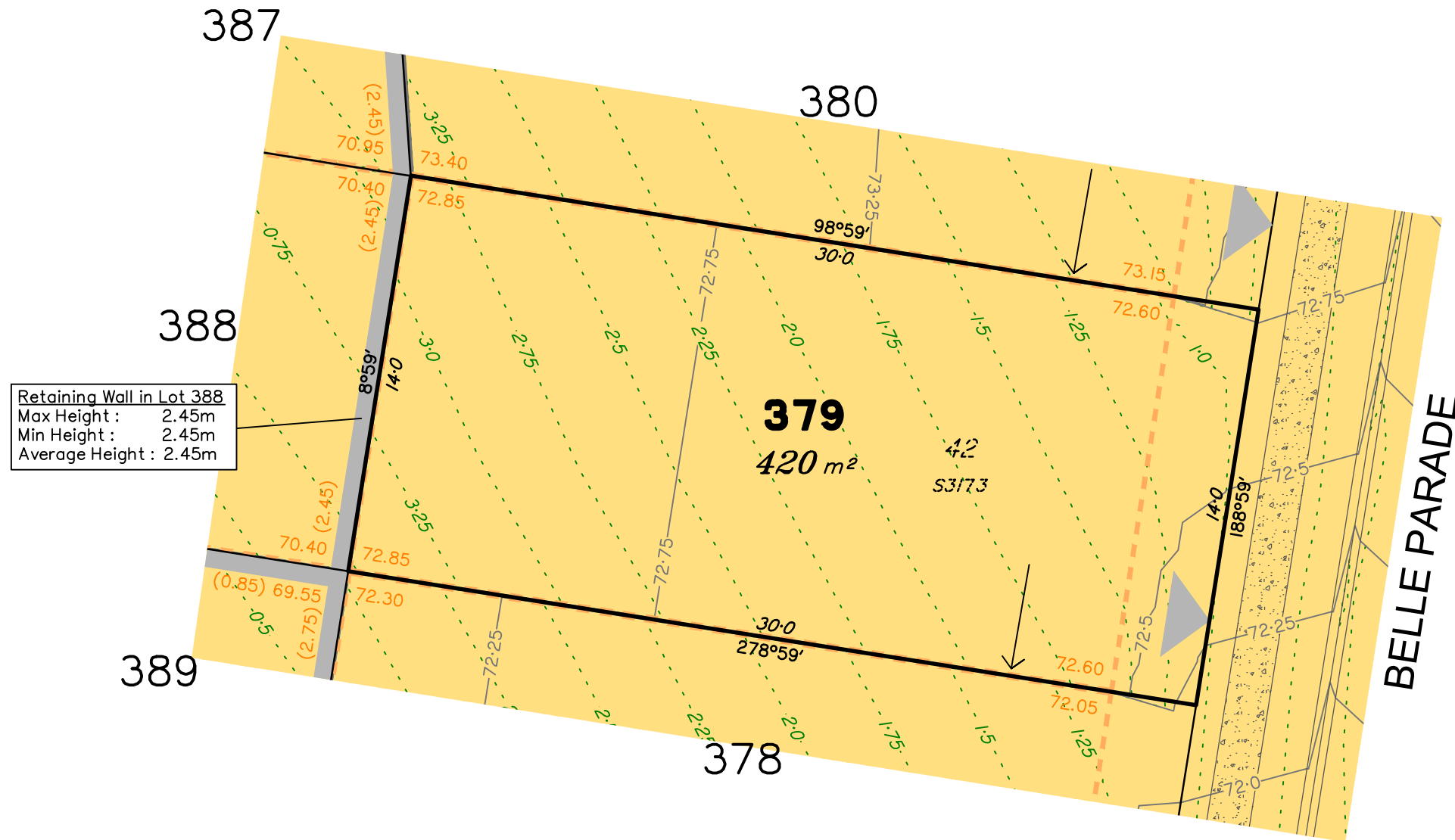
Described as part of Lot 3420 (Restricted) on SP348243
Existing Title Reference: 51367245

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200
Dwg No. 9780 S 69 DP A_378



STAGE 14



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351254) and engineering plans provided on the 20/02/25 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

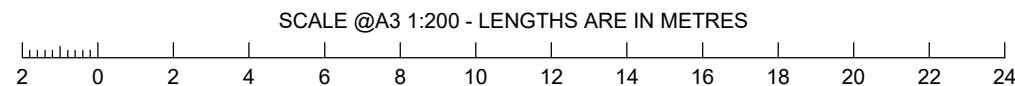
The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 379 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

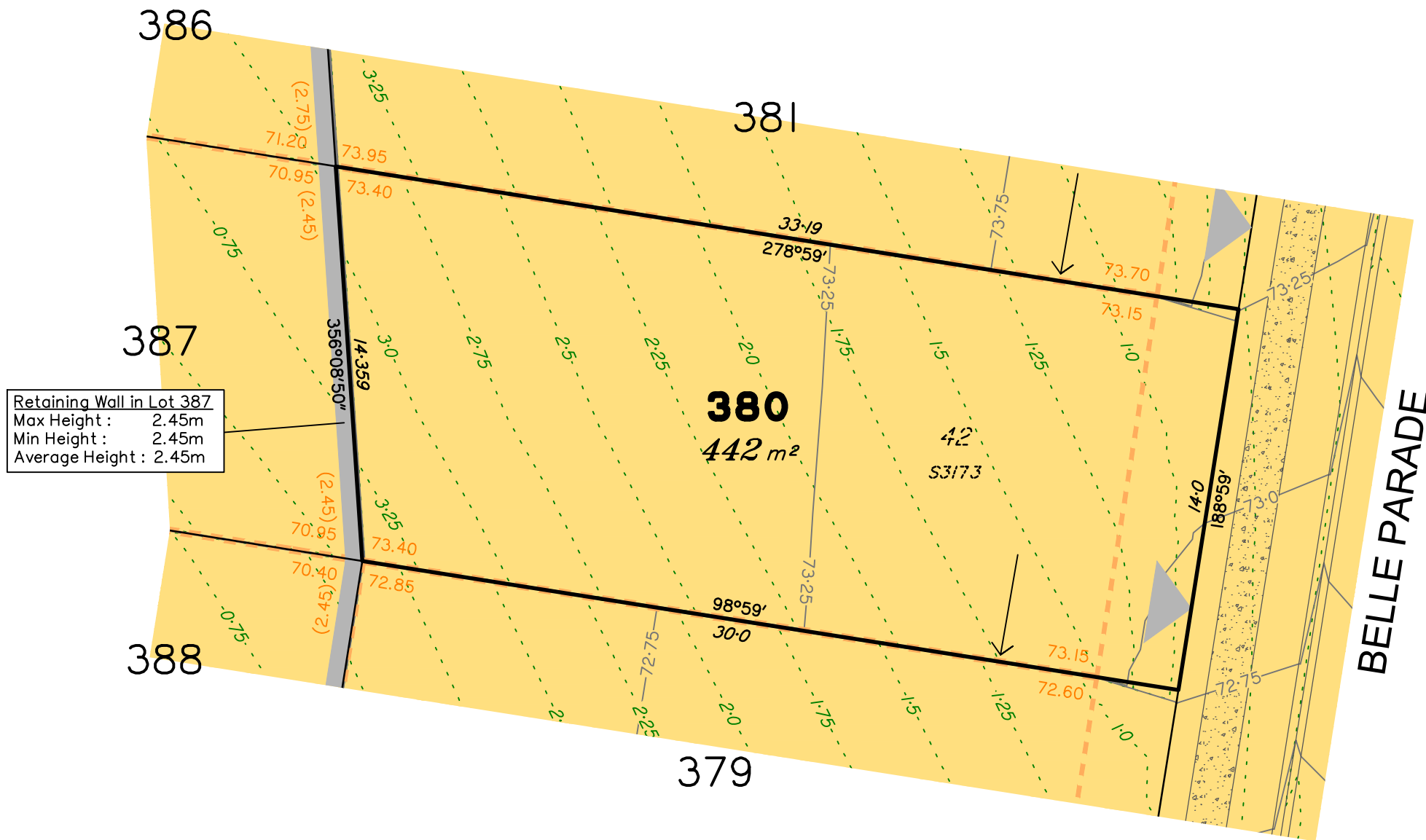
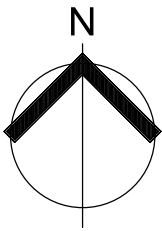
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

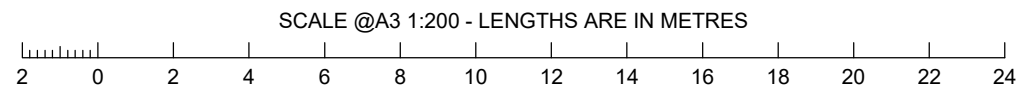
All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.



Issues	No.	by	Date	Chkd	Description
	A	MS	26/02/25	PS	Original Issue



Retaining Wall in Lot 387
Max Height : 2.45m
Min Height : 2.45m
Average Height : 2.45m



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351254) and engineering plans provided on the 20/02/25 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 380 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

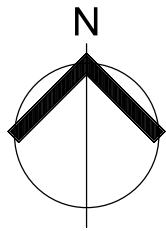
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

No.	by	Date	Chkd	Description
A	MS	26/02/25	PS	Original Issue

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200
Dwg No. 9780 S 69 DP A_380



STAGE 14

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351254) and engineering plans provided on the 20/02/25 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 381 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

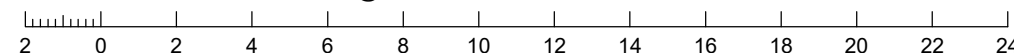
All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

Issues	No.	by	Date	Chkd	Description
	A	MS	26/02/25	PS	Original Issue

Retaining Wall in Lot 386
Max Height : 2.75m
Min Height : 2.75m
Average Height : 2.75m

BELLEVUE
RIPLEY

SCALE @A3 1:200 - LENGTHS ARE IN METRES



SH saunders
havill
group

Saunders Havill Group Pty Ltd ABN 24 144 972 949
Brisbane Springfield
head office 9 Thompson St Bowen Hills Q 4006
phone 1300 123 SHG web www.saundershavill.com

■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

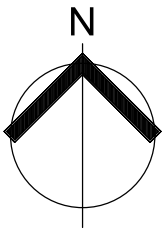
This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

Disclosure Plan for Proposed Lot 381 (Restricted) on SP351254

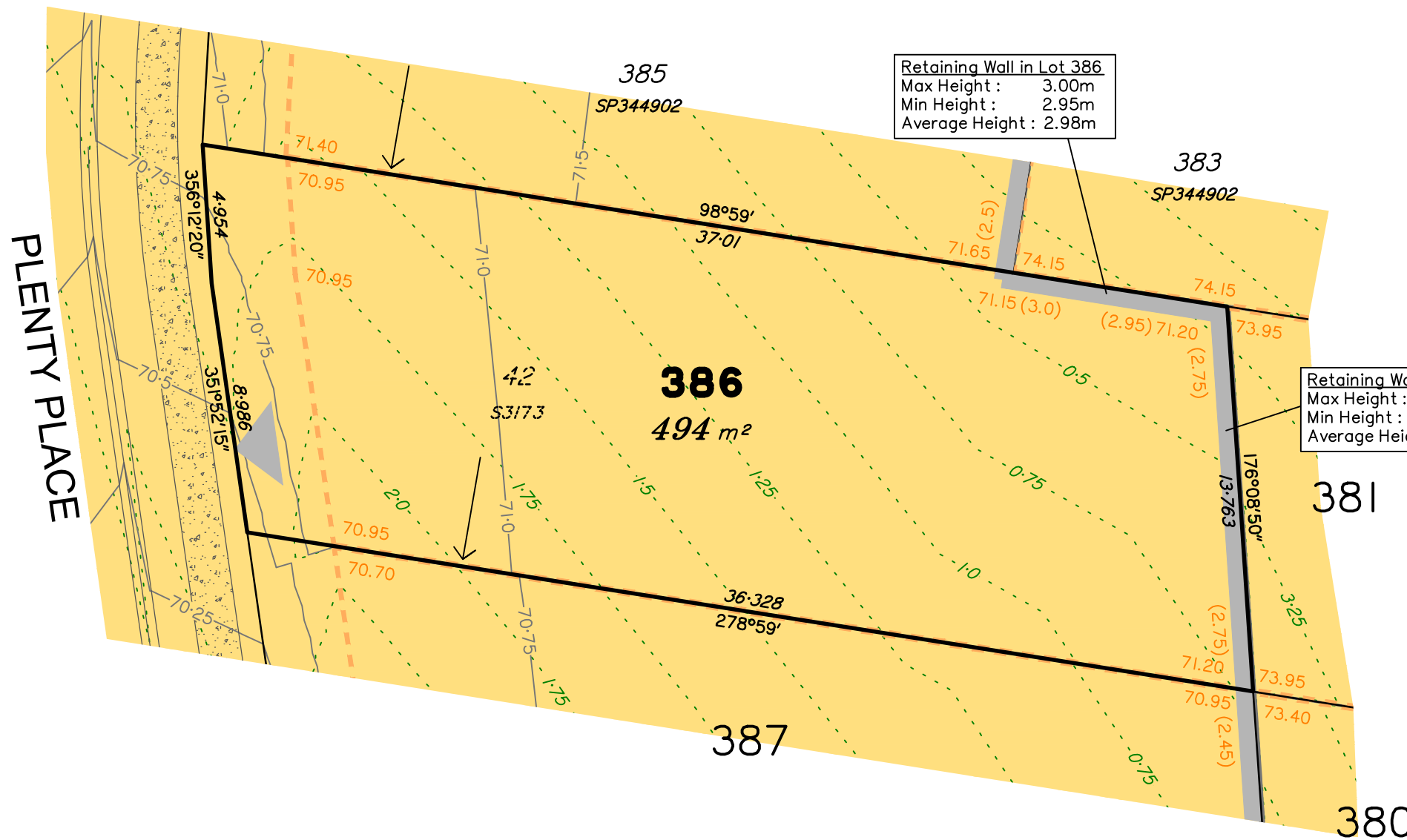
Described as part of Lot 3420 (Restricted) on SP348243
Existing Title Reference: 51367245

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200
Dwg No. 9780 S 69 DP A_381



STAGE 14



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351254) and engineering plans provided on the 20/02/25 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 386 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

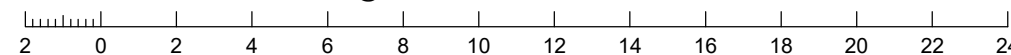
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



Saunders Havill Group Pty Ltd ABN 24 144 972 949
Brisbane Springfield
head office 9 Thompson St Bowen Hills Q 4006
phone 1300 123 SHG web www.saundershavill.com

■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

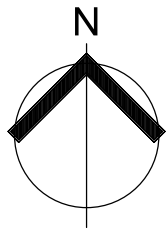
Disclosure Plan for Proposed Lot 386 (Restricted) on SP351254

Described as part of Lot 3420 (Restricted) on SP348243
Existing Title Reference: 51367245

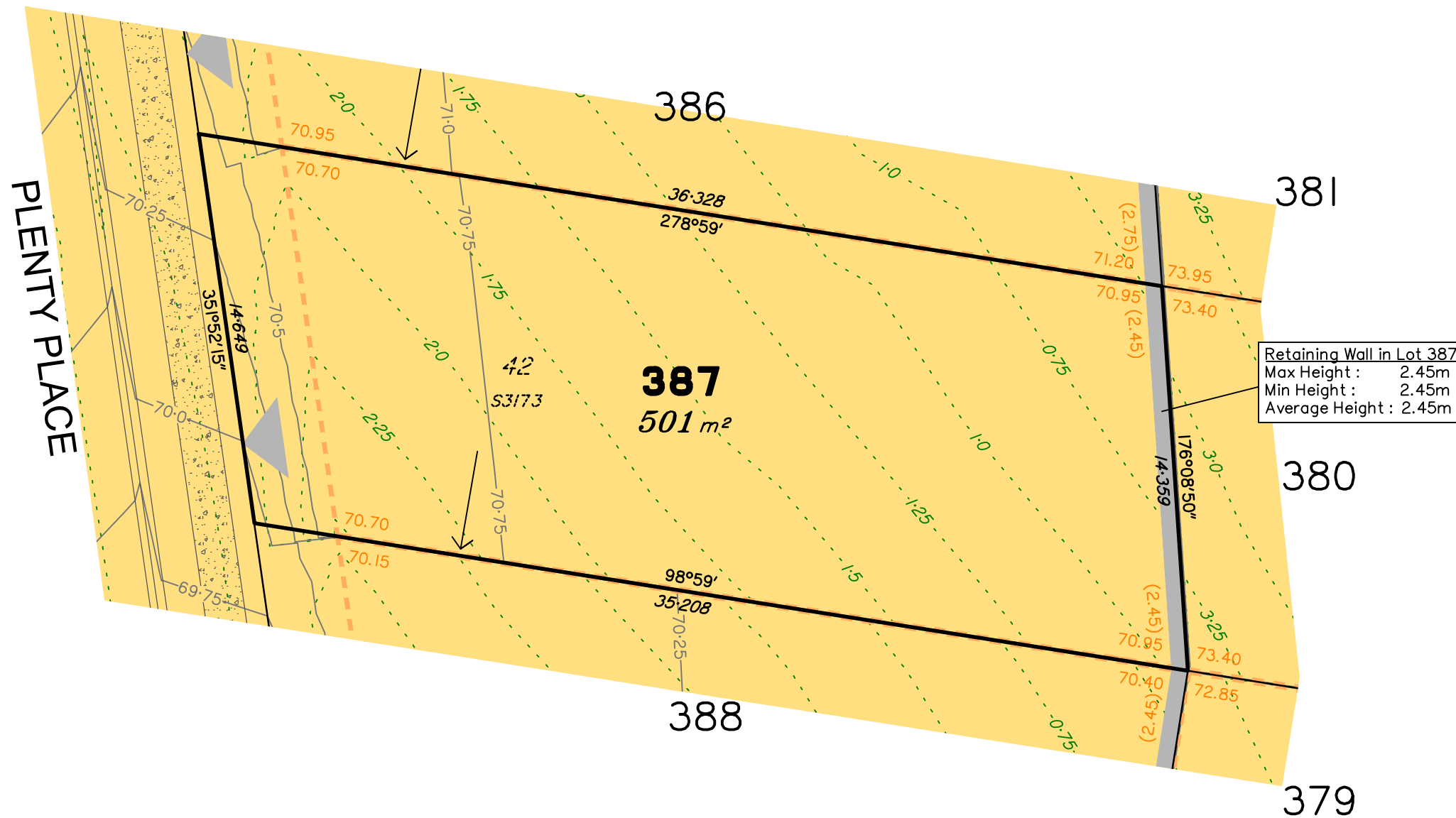
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200
Dwg No. 9780 S 69 DP A_386

No.	by	Date	Chkd	Description
A	MS	26/02/25	PS	Original Issue



STAGE 14



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351254) and engineering plans provided on the 20/02/25 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 387 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

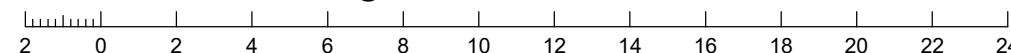
Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

Issues	No.	by	Date	Chkd	Description
	A	MS	26/02/25	PS	Original Issue



SCALE @A3 1:200 - LENGTHS ARE IN METRES



Saunders Havill Group Pty Ltd ABN 24 144 972 949
Brisbane Springfield
head office 9 Thompson St Bowen Hills Q 4006
phone 1300 123 SHG web www.saundershavill.com

■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

Disclosure Plan for Proposed Lot 387 (Restricted) on SP351254

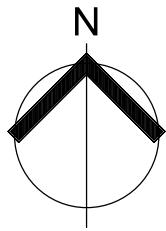
Described as part of Lot 3420 (Restricted) on SP348243
Existing Title Reference: 51367245

Locality of Ripley (Ipswich City Council)

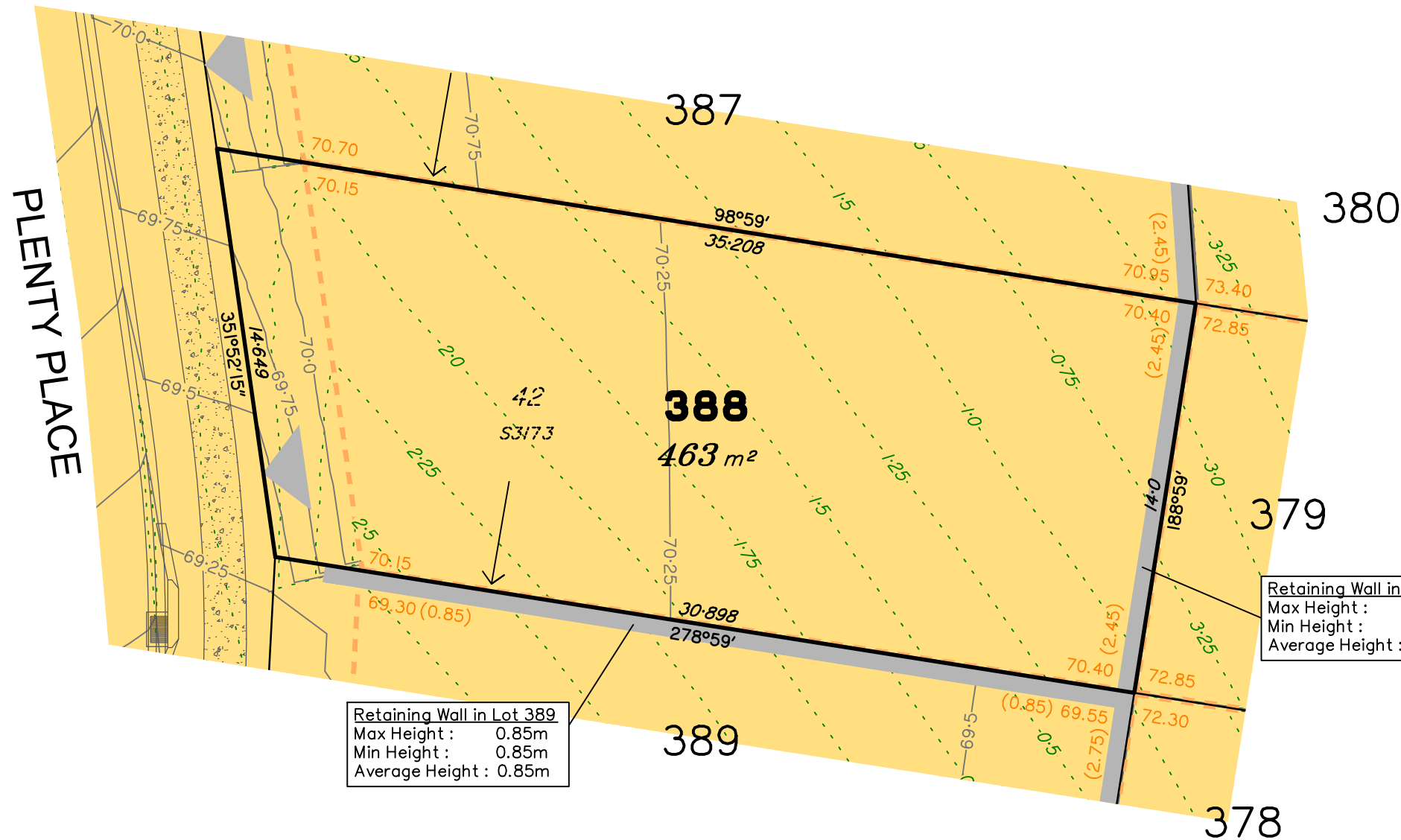
Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 69 DP A_387



STAGE 14



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351254) and engineering plans provided on the 20/02/25 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

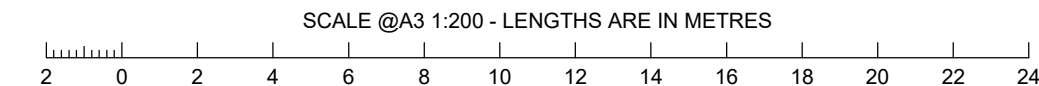
The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 388 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

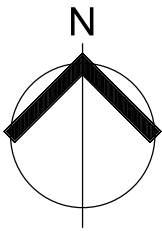
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

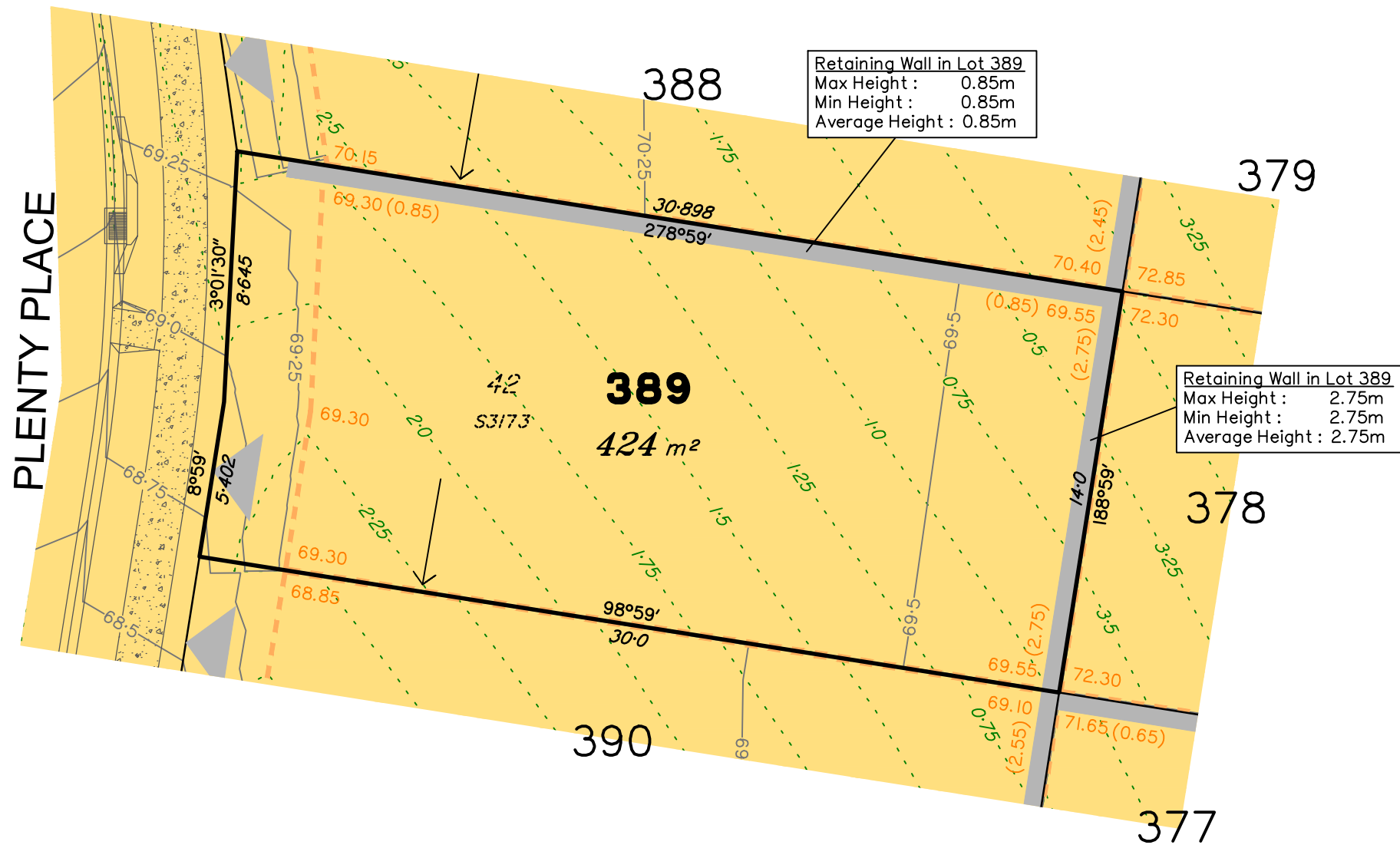
All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.



Issues	No.	by	Date	Chkd	Description
	A	MS	26/02/25	PS	Original Issue



STAGE 14



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351254) and engineering plans provided on the 20/02/25 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 389 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

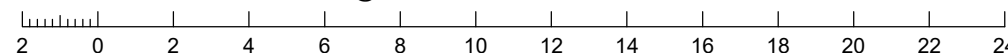
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

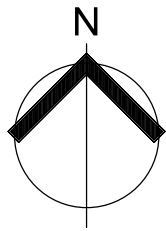
All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.



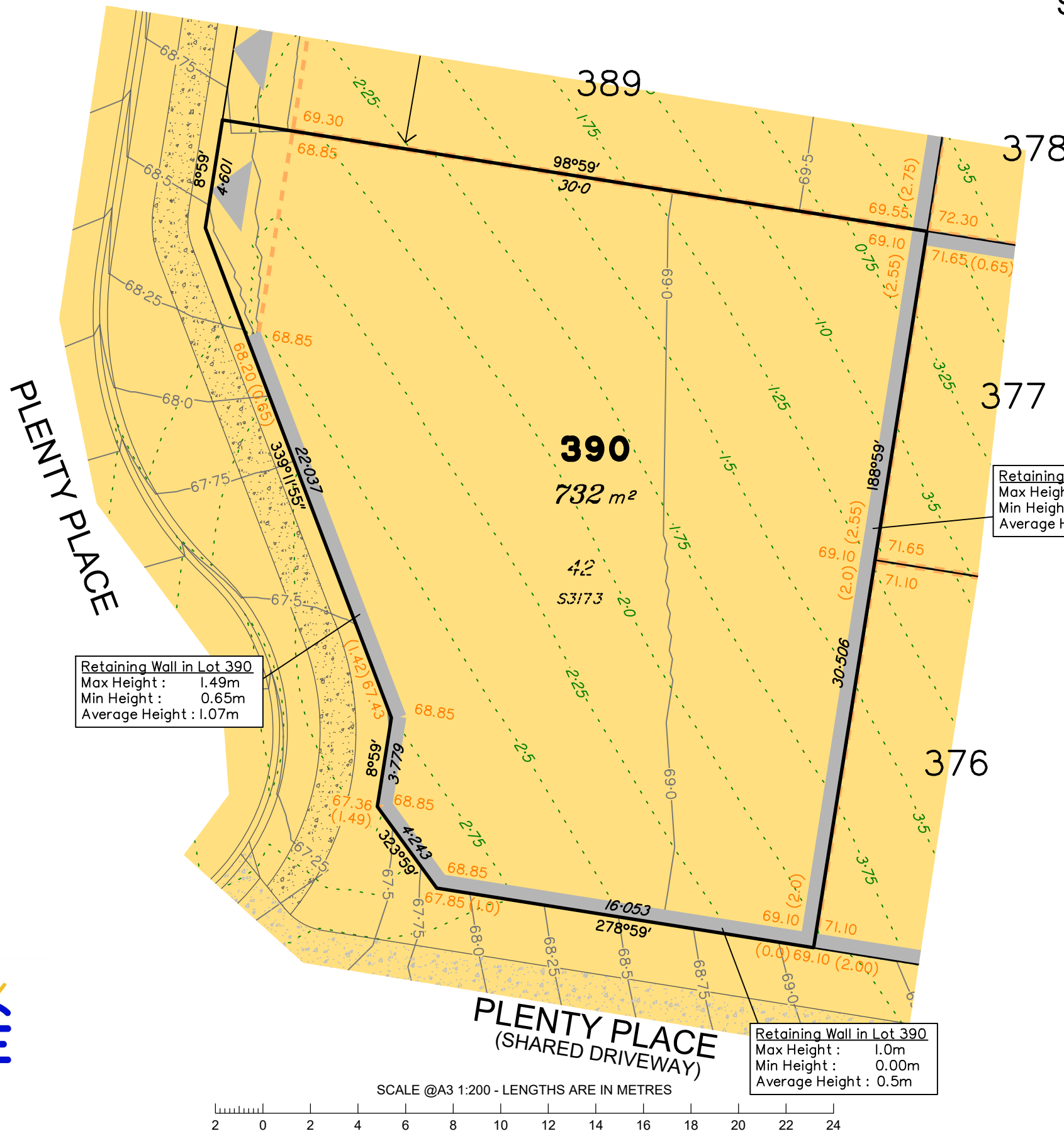
SCALE @A3 1:200 - LENGTHS ARE IN METRES



Issues	No.	by	Date	Chkd	Description
	A	MS	26/02/25	PS	Original Issue



STAGE 14



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351254) and engineering plans provided on the 20/02/25 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 390 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

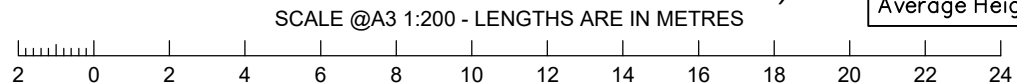
All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.



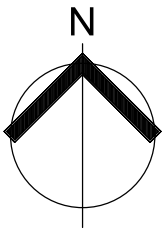
Retaining Wall in Lot 390
Max Height : 1.49m
Min Height : 0.65m
Average Height : 1.07m

Retaining Wall in Lot 390
Max Height : 2.55m
Min Height : 2.00m
Average Height : 2.28m

Retaining Wall in Lot 390
Max Height : 1.0m
Min Height : 0.00m
Average Height : 0.5m



Issues	No.	by	Date	Chkd	Description
	A	MS	26/02/25	PS	Original Issue



STAGE 14

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351254) and engineering plans provided on the 20/02/25 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

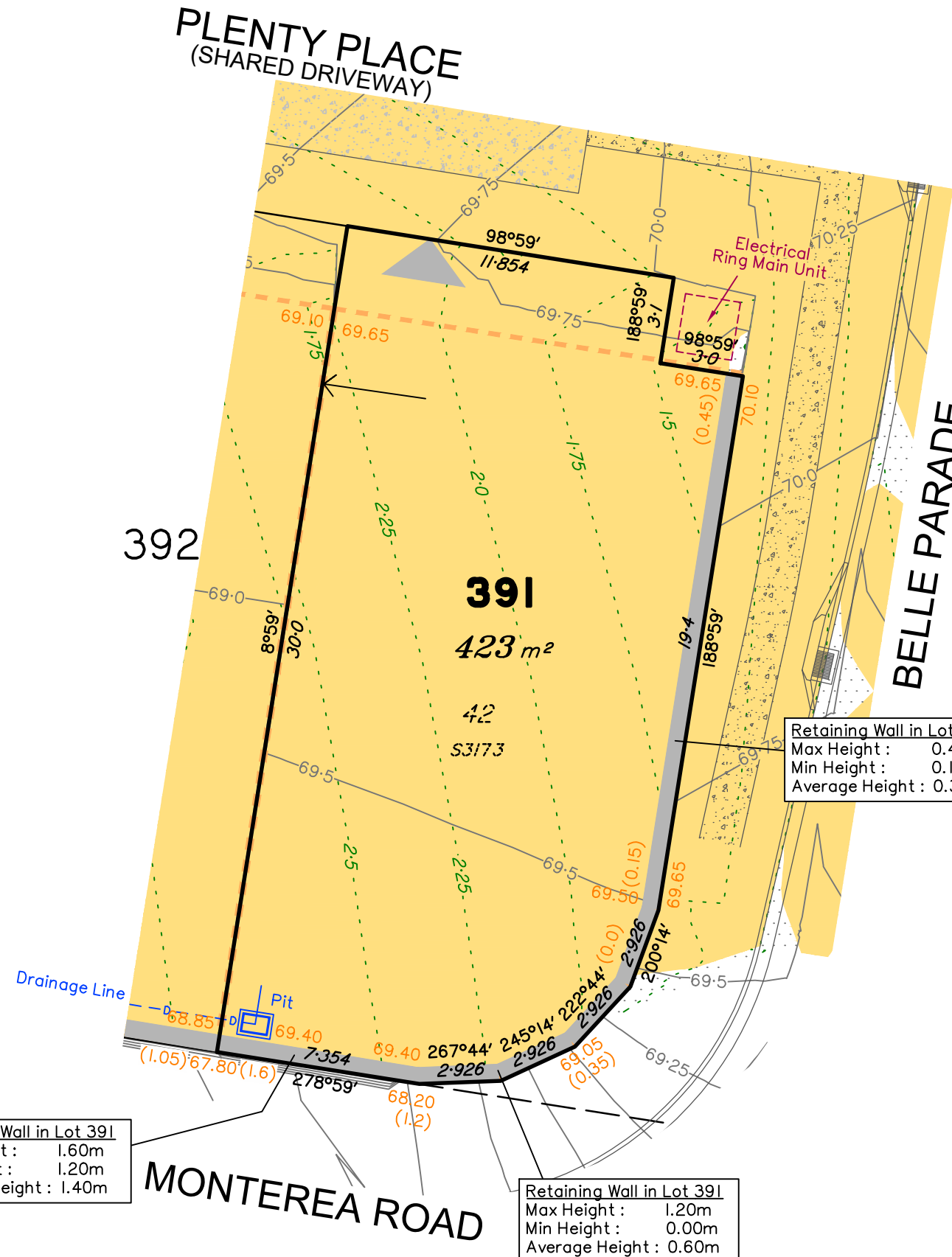
The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 391 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

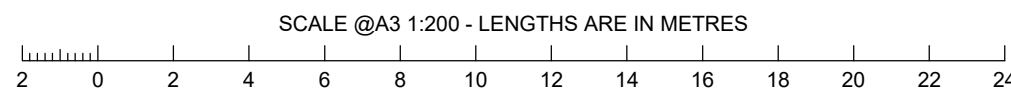
All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

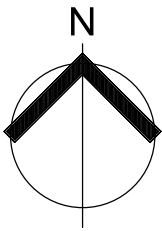


Retaining Wall in Lot 391
Max Height : 1.60m
Min Height : 1.20m
Average Height : 1.40m

Retaining Wall in Lot 391
Max Height : 0.45m
Min Height : 0.15m
Average Height : 0.30m

Retaining Wall in Lot 391
Max Height : 1.20m
Min Height : 0.00m
Average Height : 0.60m





STAGE 14

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351254) and engineering plans provided on the 20/02/25 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

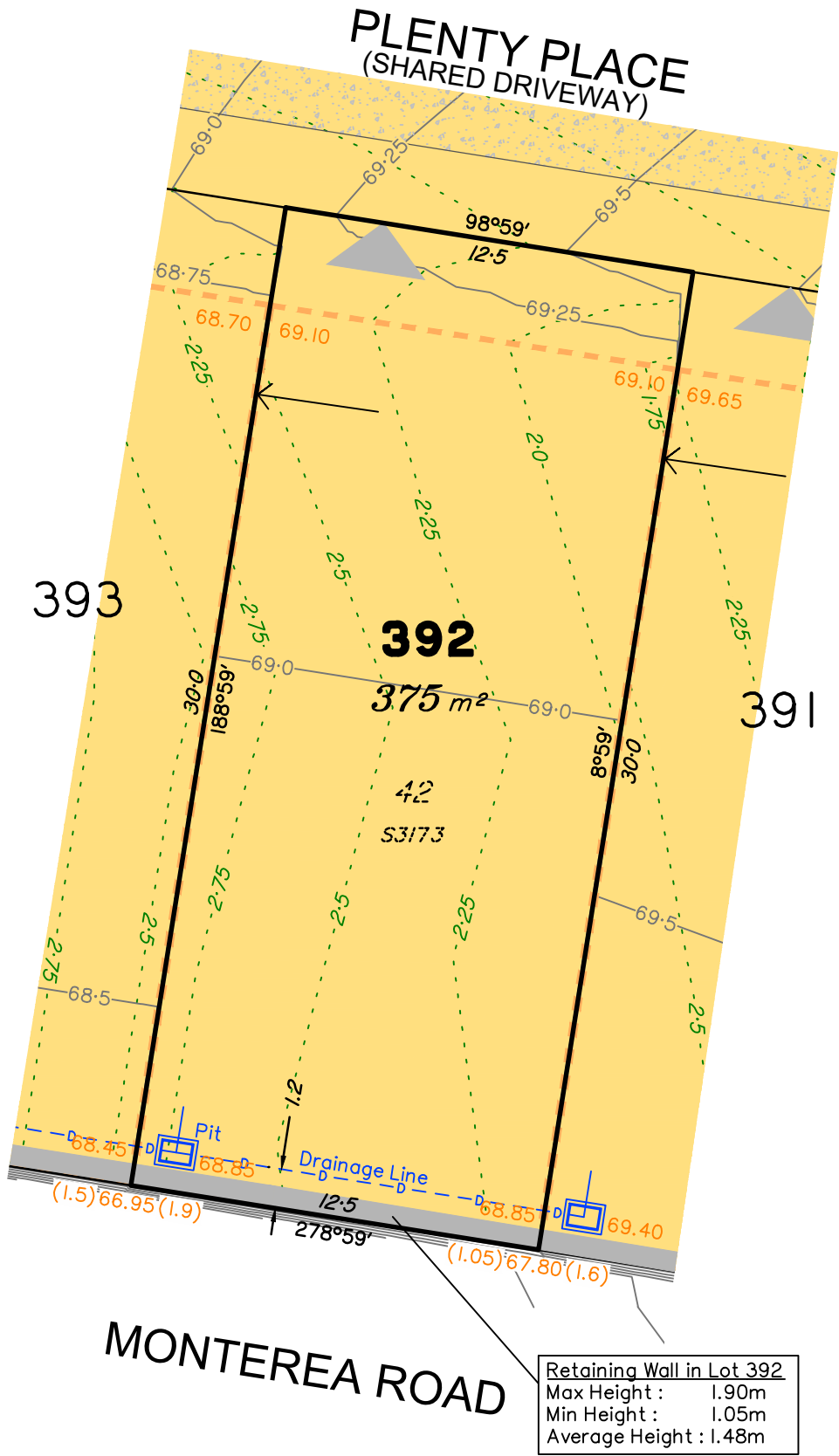
The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 392 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.



Retaining Wall in Lot 392
Max Height : 1.90m
Min Height : 1.05m
Average Height : 1.48m

SCALE @A3 1:200 - LENGTHS ARE IN METRES



Saunders Havill Group Pty Ltd ABN 24 144 972 949
Brisbane Springfield
head office 9 Thompson St Bowen Hills Q 4006
phone 1300 123 SHG web www.saundershavill.com

■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

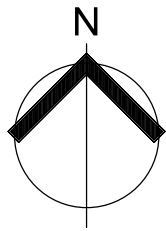
Disclosure Plan for Proposed Lot 392 (Restricted) on SP351254

Described as part of Lot 3420 (Restricted) on SP348243
Existing Title Reference: 51367245

Locality of Ripley (Ipswich City Council)

No.	by	Date	Chkd	Description
A	MS	26/02/25	PS	Original Issue

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200
Dwg No. 9780 S 69 DP A_392



STAGE 14

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351254) and engineering plans provided on the 20/02/25 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

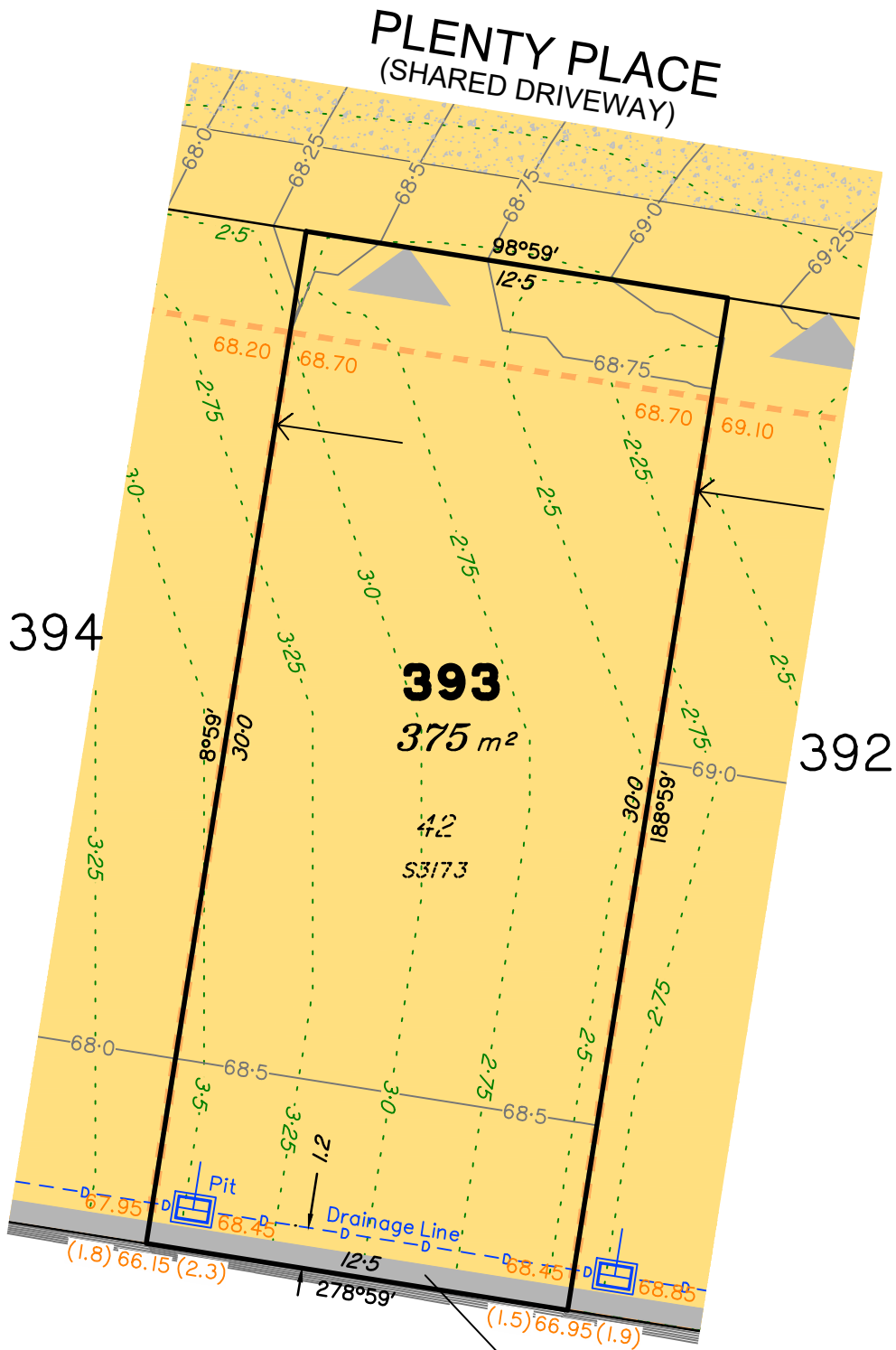
The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 393 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

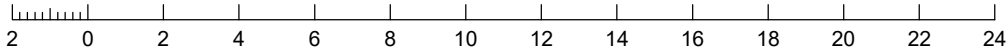
All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.



Retaining Wall in Lot 393
Max Height : 2.30m
Min Height : 1.50m
Average Height : 1.90m



SCALE @A3 1:200 - LENGTHS ARE IN METRES



Issues	No.	by	Date	Chkd	Description
	A	MS	26/02/25	PS	Original Issue



Saunders Havill Group Pty Ltd ABN 24 144 972 949
Brisbane Springfield
head office 9 Thompson St Bowen Hills Q 4006
phone 1300 123 SHG web www.saundershavill.com

■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

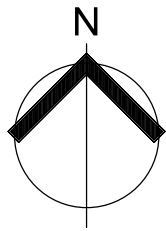
This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

Disclosure Plan for Proposed Lot 393 (Restricted) on SP351254

Described as part of Lot 3420 (Restricted) on SP348243
Existing Title Reference: 51367245

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200
Dwg No. 9780 S 69 DP A_393



■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

Saunders Havill Group Pty Ltd ABN 24 144 972 949
Brisbane Springfield
head office 9 Thompson St Bowen Hills Q 4006
phone 1300 123 SHG web www.saundershavill.com

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

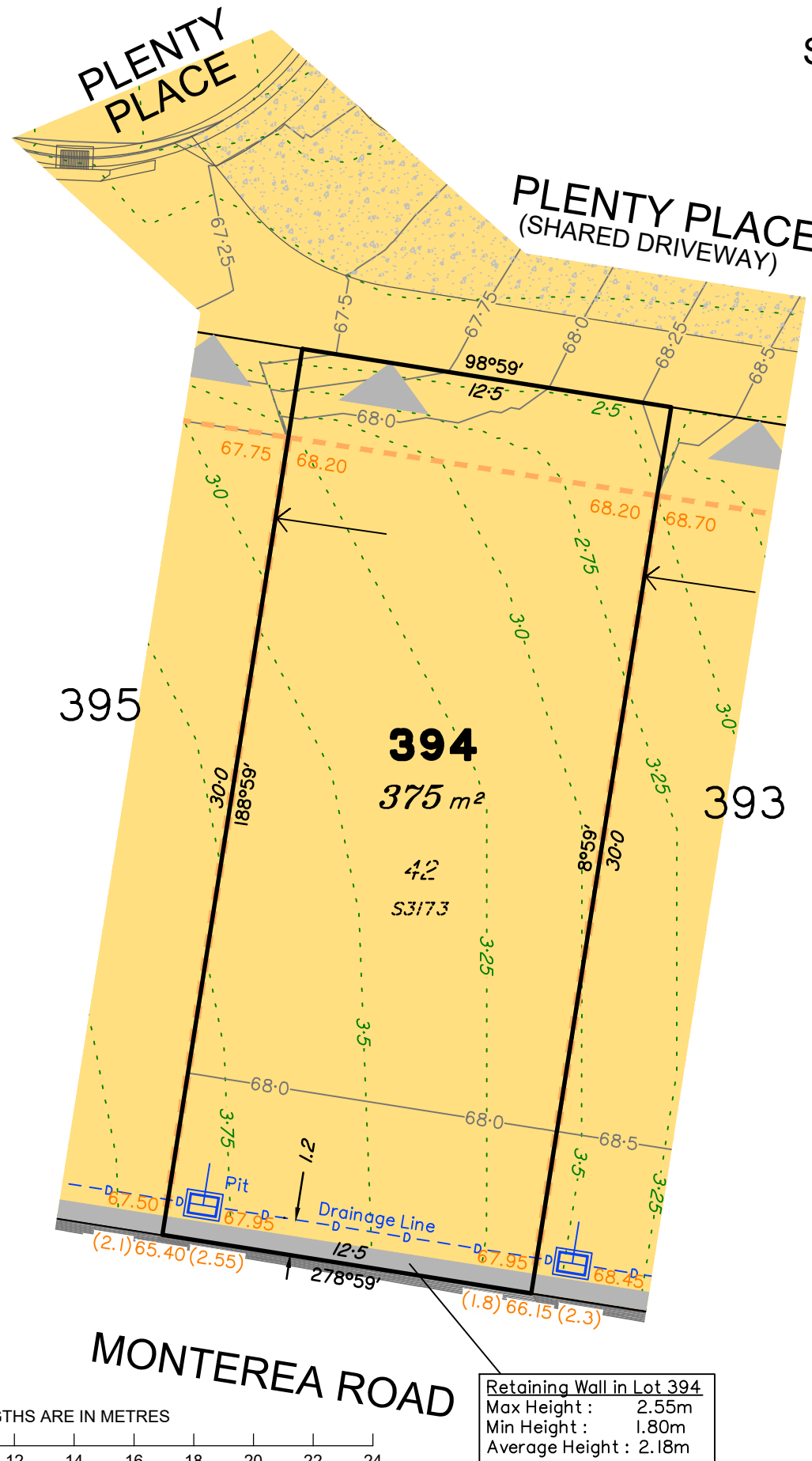
Disclosure Plan for Proposed Lot 394 (Restricted) on SP351254

Described as part of Lot 3420 (Restricted) on SP348243
Existing Title Reference: 51367245

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200
Dwg No. 9780 S 69 DP A_394

STAGE 14



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351254) and engineering plans provided on the 20/02/25 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

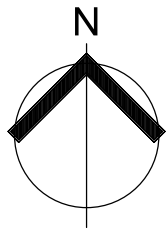
Lot 394 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

No.	by	Date	Chkd	Description
A	MS	26/02/25	PS	Original Issue



■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

Saunders Havill Group Pty Ltd ABN 24 144 972 949
Brisbane Springfield
head office 9 Thompson St Bowen Hills Q 4006
phone 1300 123 SHG web www.saundershavill.com

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

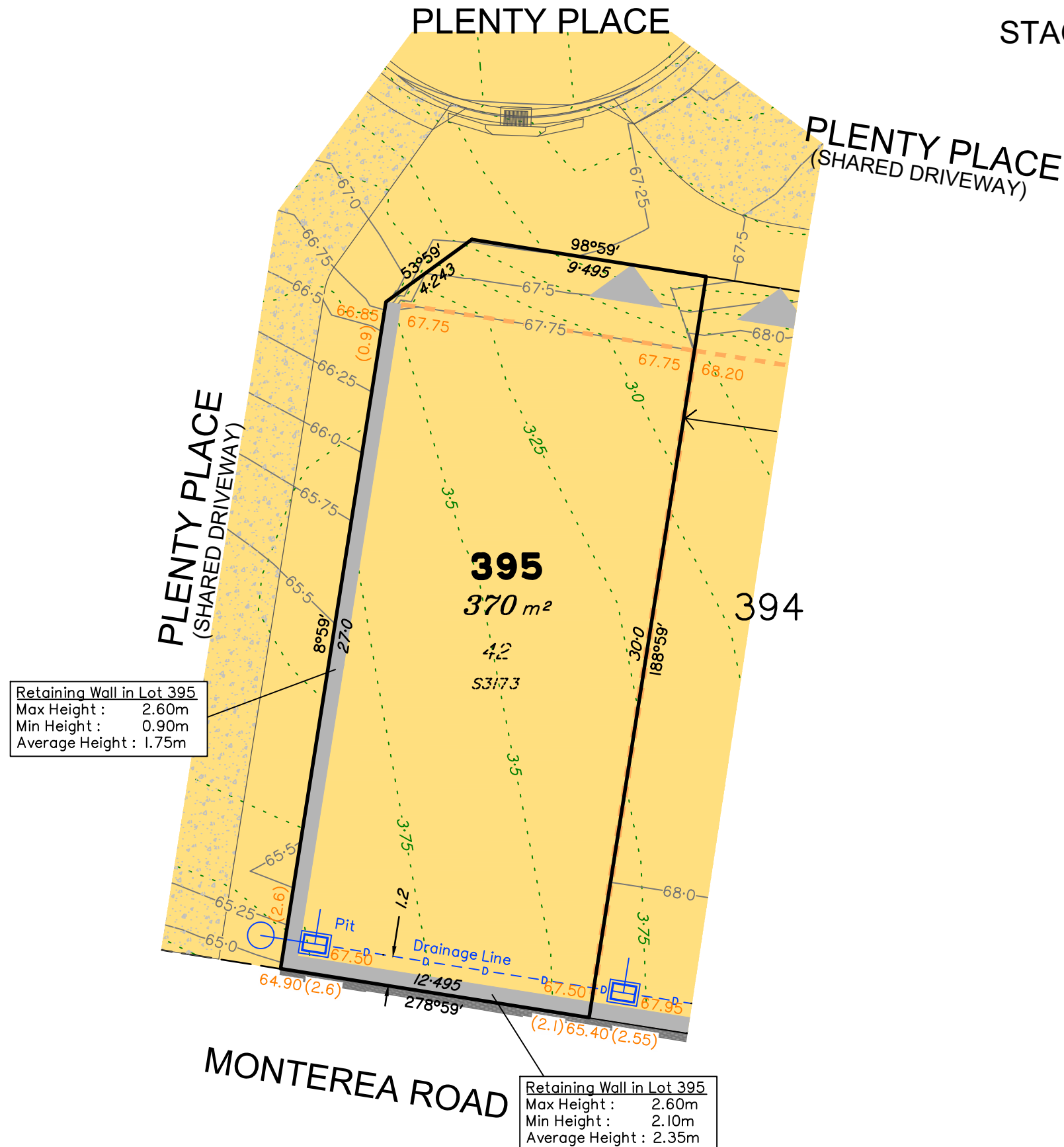
Disclosure Plan for Proposed Lot 395 (Restricted) on SP351254

Described as part of Lot 3420 (Restricted) on SP348243
Existing Title Reference: 51367245

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200
Dwg No. 9780 S 69 DP A_395

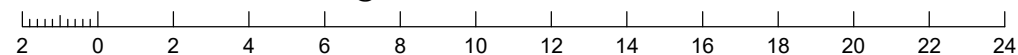
STAGE 14



Retaining Wall in Lot 395
Max Height : 2.60m
Min Height : 0.90m
Average Height : 1.75m

Retaining Wall in Lot 395
Max Height : 2.60m
Min Height : 2.10m
Average Height : 2.35m

SCALE @A3 1:200 - LENGTHS ARE IN METRES



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351254) and engineering plans provided on the 20/02/25 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 395 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

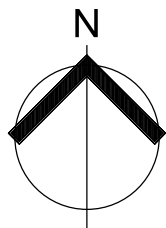
Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

Issues	No.	by	Date	Chkd	Description
	A	MS	26/02/25	PS	Original Issue



STAGE 14



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351254) and engineering plans provided on the 20/02/25 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 396 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

As per the approved plan of development, this lot is subject to a 10m wide building exclusion zone from the rear boundary. See the approved plan of development for further details.

Retaining Wall in Lot 396
Max Height : 2.95m
Min Height : 0.25m
Average Height : 1.60m

Retaining Wall in Lot 400
Max Height : 0.85m
Min Height : 0.78m
Average Height : 0.82m

Retaining Wall in Lot 397
Max Height : 2.13m
Min Height : 1.60m
Average Height : 1.87m

Retaining Wall in Lot 396
Max Height : 2.98m
Min Height : 0.73m
Average Height : 1.86m

902
SP351246

397

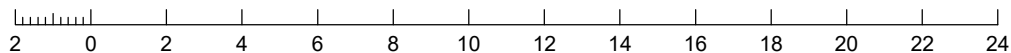
396
818 m²

904
(Drainage Lot)

PLENCE PLACE
(SHARED DRIVEWAY)

BELLEVUE
RIPLEY

SCALE @A3 1:200 - LENGTHS ARE IN METRES



saunders
havill
group

Saunders Havill Group Pty Ltd ABN 24 144 972 949
Brisbane Springfield
head office 9 Thompson St Bowen Hills Q 4006
phone 1300 123 SHG web www.saundershavill.com

■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

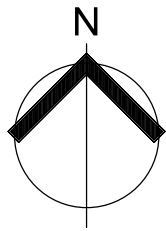
Disclosure Plan for Proposed Lot 396 (Restricted) on SP351254

Described as part of Lot 1000 (Restricted) on SP348243 & Lot 3420 (Restricted) on SP348243
Existing Title Reference: 51367244 & 51367245

Locality of Ripley (Ipswich City Council)

No.	by	Date	Chkd	Description
A	MS	26/02/25	PS	Original Issue

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200
Dwg No. 9780 S 69 DP A_396



STAGE 14

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall
(Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351254) and engineering plans provided on the 20/02/25 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 397 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

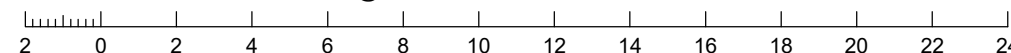
As per the approved plan of development, this lot is subject to a building exclusion zone from the rear boundary. See the approved plan of development for further details.

Retaining Wall in Lot 400
Max Height : 1.35m
Min Height : 1.20m
Average Height : 1.28m

Retaining Wall in Lot 397
Max Height : 2.13m
Min Height : 1.60m
Average Height : 1.87m

BELLEVUE
RIPLEY

SCALE @A3 1:200 - LENGTHS ARE IN METRES



SH saunders
havill
group

Saunders Havill Group Pty Ltd ABN 24 144 972 949
Brisbane Springfield
head office 9 Thompson St Bowen Hills Q 4006
phone 1300 123 SHG web www.saundershavill.com

■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

Disclosure Plan for Proposed Lot 397 (Restricted) on SP351254

Described as part of Lot 1000 (Restricted) on SP348243 & Lot 3420 (Restricted) on SP348243

Existing Title Reference: 51367244 & 51367245

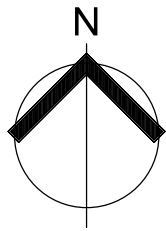
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m

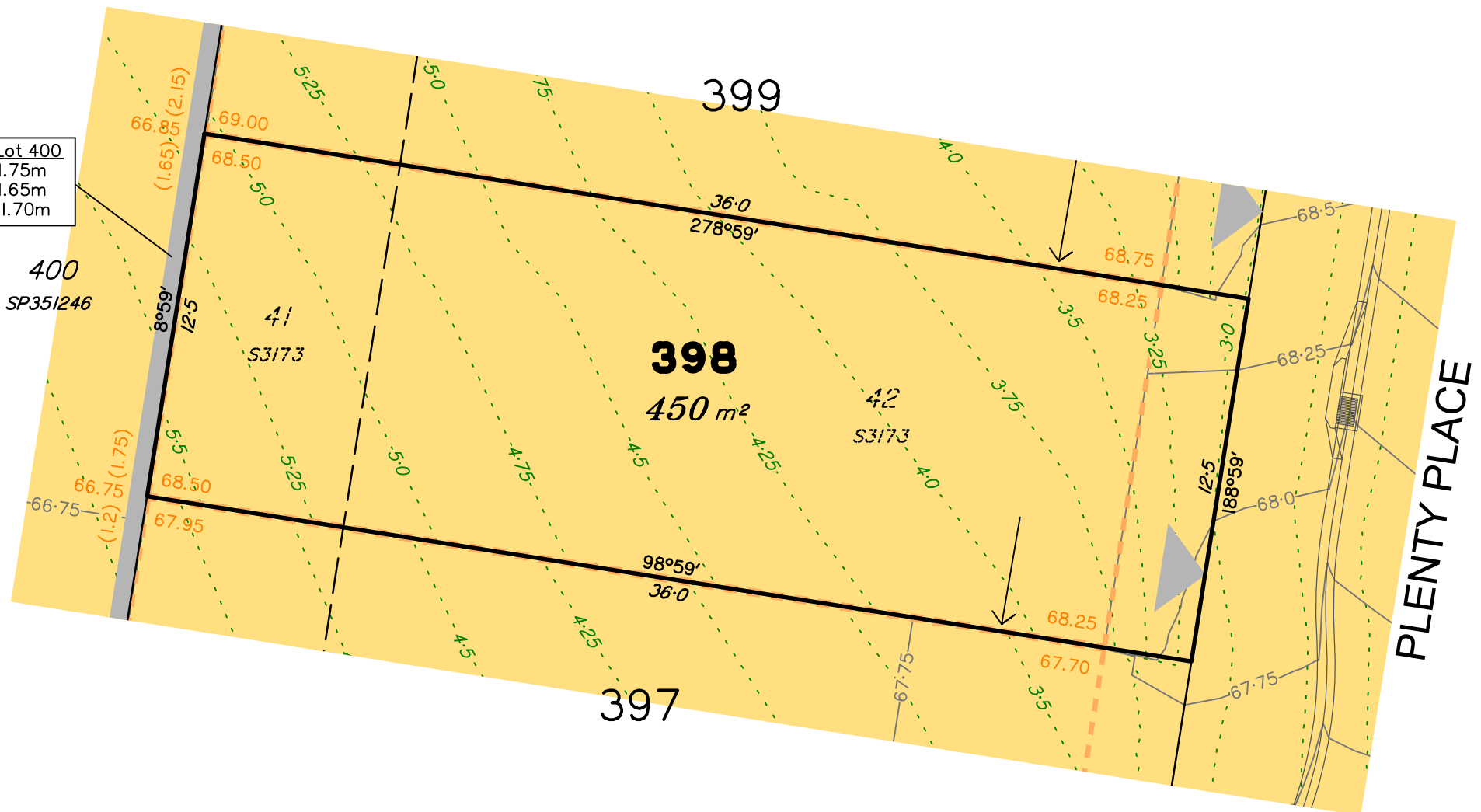
Scale @A3 1: 200

Dwg No. 9780 S 69 DP A_397

No.	by	Date	Chkd	Description
A	MS	26/02/25	PS	Original Issue



Retaining Wall in Lot 400
Max Height : 1.75m
Min Height : 1.65m
Average Height : 1.70m



STAGE 14

LEGEND

Area of Fill

Area of Cut

Design Contours

Depth of Fill Contours

Proposed Retaining Wall
(Height shown in brackets on lower side)

Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351254) and engineering plans provided on the 20/02/25 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

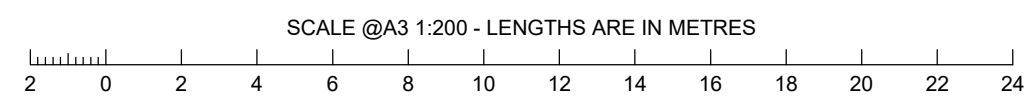
The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 398 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.



Issues	No.	by	Date	Chkd	Description
	A	MS	26/02/25	PS	Original Issue

SH

saunders
havill
group

Saunders Havill Group Pty Ltd

ABN 24 144 972 949

Brisbane Springfield

head office 9 Thompson St Bowen Hills Q 4006

phone 1300 123 SHG web www.saundershavill.com

■ surveying

■ town planning

■ urban design

■ environmental management

■ landscape architecture

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

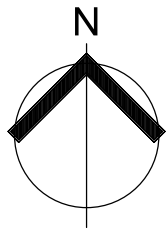
Disclosure Plan for Proposed Lot 398 (Restricted) on SP351254

Described as part of Lot 1000 (Restricted) on SP348243 & Lot 3420 (Restricted) on SP348243

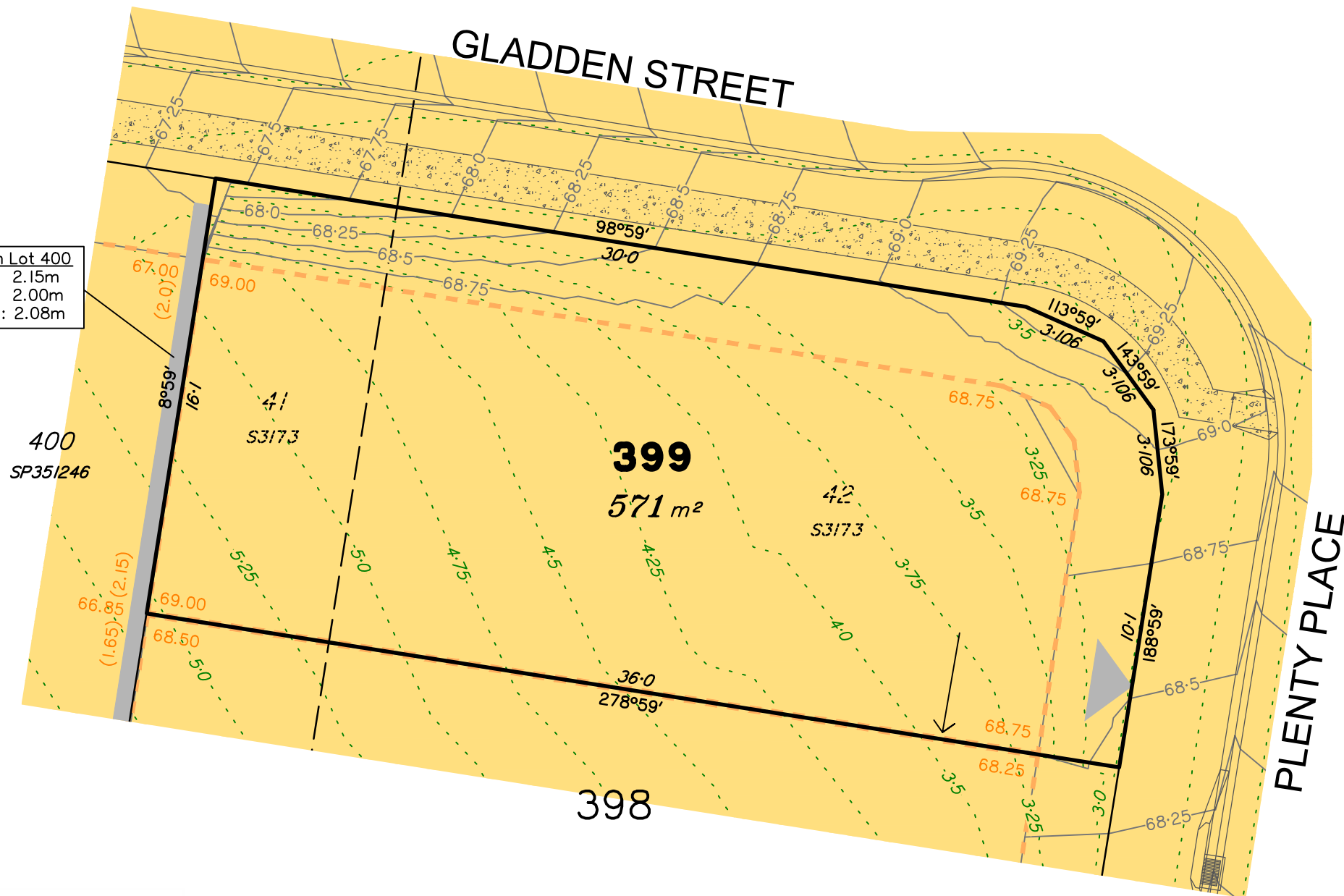
Existing Title Reference: 51367244 & 51367245

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200
Dwg No. 9780 S 69 DP A_398



Retaining Wall in Lot 400
Max Height : 2.15m
Min Height : 2.00m
Average Height : 2.08m



STAGE 14

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall
(1.5)
(Height shown in brackets on lower side)
- XX.XX Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351254) and engineering plans provided on the 20/02/25 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 399 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

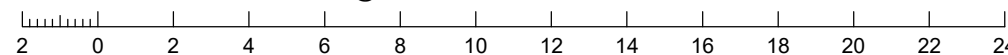
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



Saunders Havill Group Pty Ltd ABN 24 144 972 949
Brisbane Springfield
head office 9 Thompson St Bowen Hills Q 4006
phone 1300 123 SHG web www.saundershavill.com

■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

Disclosure Plan for Proposed Lot 399 (Restricted) on SP351254

Described as part of Lot 1000 (Restricted) on SP348243 & Lot 3420 (Restricted) on SP348243

Existing Title Reference: 51367244 & 51367245

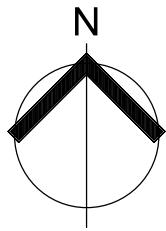
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m

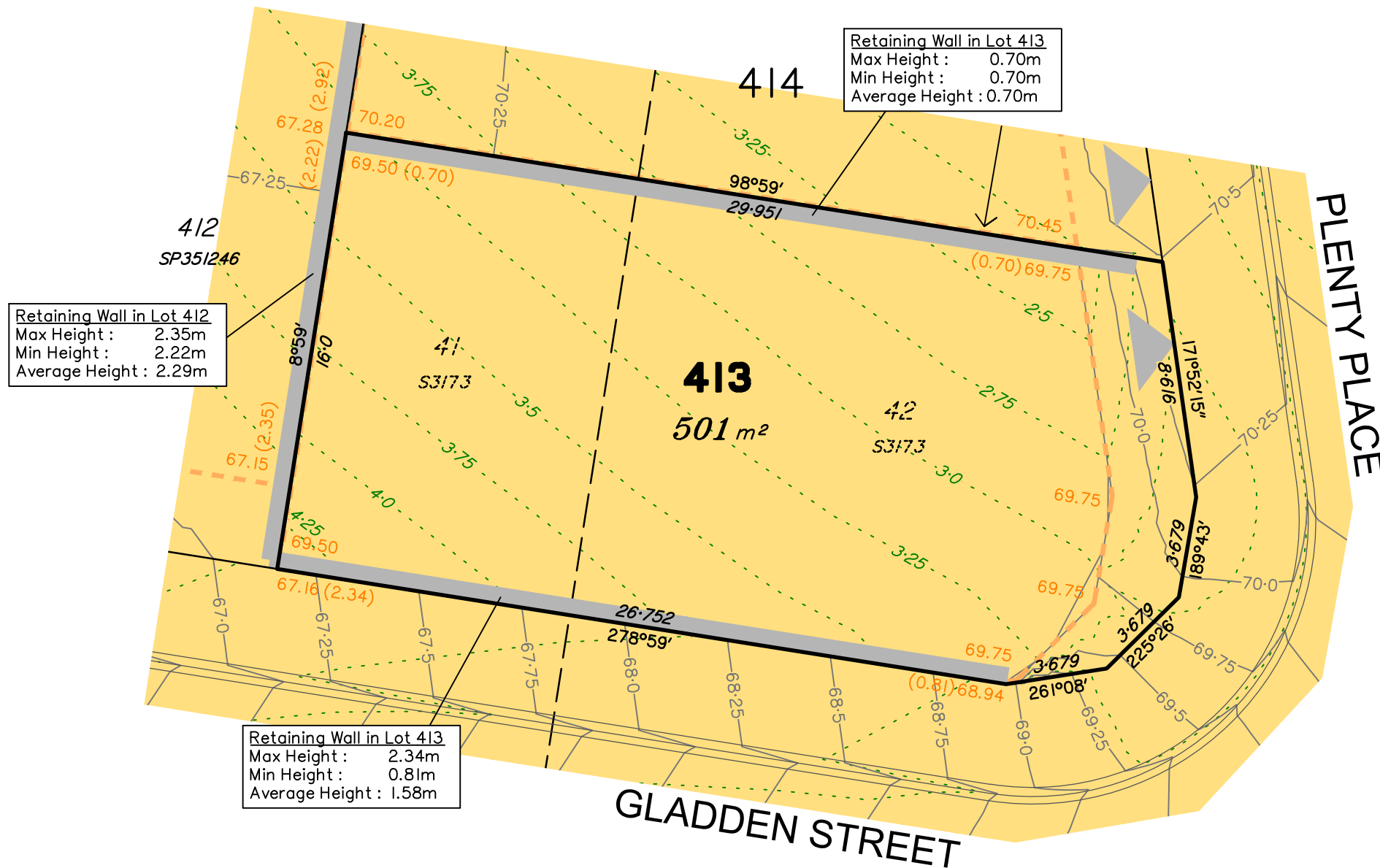
Scale @A3 1: 200

Dwg No. 9780 S 69 DP A_399

Issues	No.	by	Date	Chkd	Description
	A	MS	26/02/25	PS	Original Issue



STAGE 14



LEGEND

- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Proposed Retaining Wall (Height shown in brackets on lower side)
 - Finished Design Surface Level
 - Earthworks Pad Extents
 - Top of Batter
 - Built to Boundary Location
 - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351254) and engineering plans provided on the 20/02/25 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 413 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

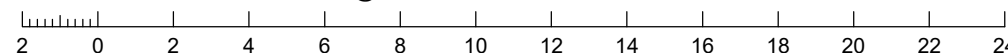
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



Saunders Havill Group Pty Ltd ABN 24 144 972 949
Brisbane Springfield
head office 9 Thompson St Bowen Hills Q 4006
phone 1300 123 SHG web www.saundershavill.com

■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

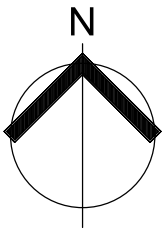
Disclosure Plan for Proposed Lot 413 (Restricted) on SP351254

Described as part of Lot 1000 (Restricted) on SP348243 & Lot 3420 (Restricted) on SP348243
Existing Title Reference: 51367244 & 51367245

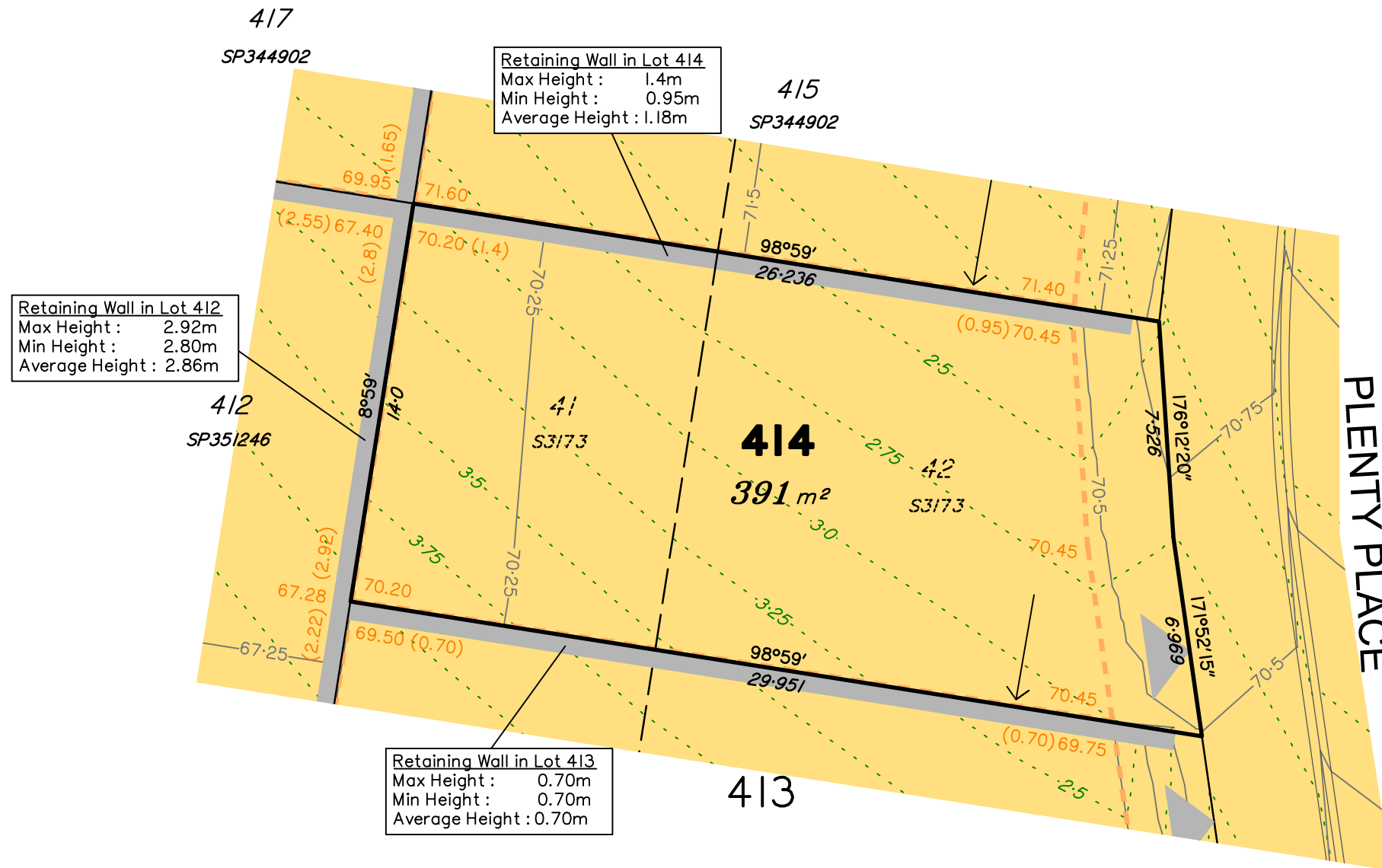
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200
Dwg No. 9780 S 69 DP A_413

Issues	No.	by	Date	Chkd	Description
	A	MS	26/02/25	PS	Original Issue



STAGE 14



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351254) and engineering plans provided on the 20/02/25 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 414 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

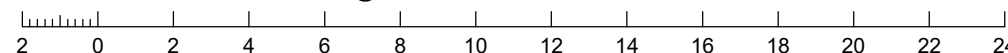
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



Disclosure Plan for Proposed Lot 414 (Restricted) on SP351254

Described as part of Lot 1000 (Restricted) on SP348243 & Lot 3420 (Restricted) on SP348243
Existing Title Reference: 51367244 & 51367245

Locality of Ripley (Ipswich City Council)

Issues	No.	by	Date	Chkd	Description
	A	MS	26/02/25	PS	Original Issue