

STAGE 16

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351246) and engineering plans provided on the 14/10/24 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 400 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

As per the approved plan of development, this lot is subject to a 10m wide building exclusion zone from the rear boundary. See the approved plan of development for further details.

Issues	No.	by	Date	Chkd	Description
	A	MS	29/10/24	PS	Original Issue

Disclosure Plan for Proposed Lot 400 (Restricted) on SP351246

Described as part of Lot 1000 (Restricted) on SP344901
Existing Title Reference: 51358403

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 250
Dwg No. 9780 S 68 DP A_400

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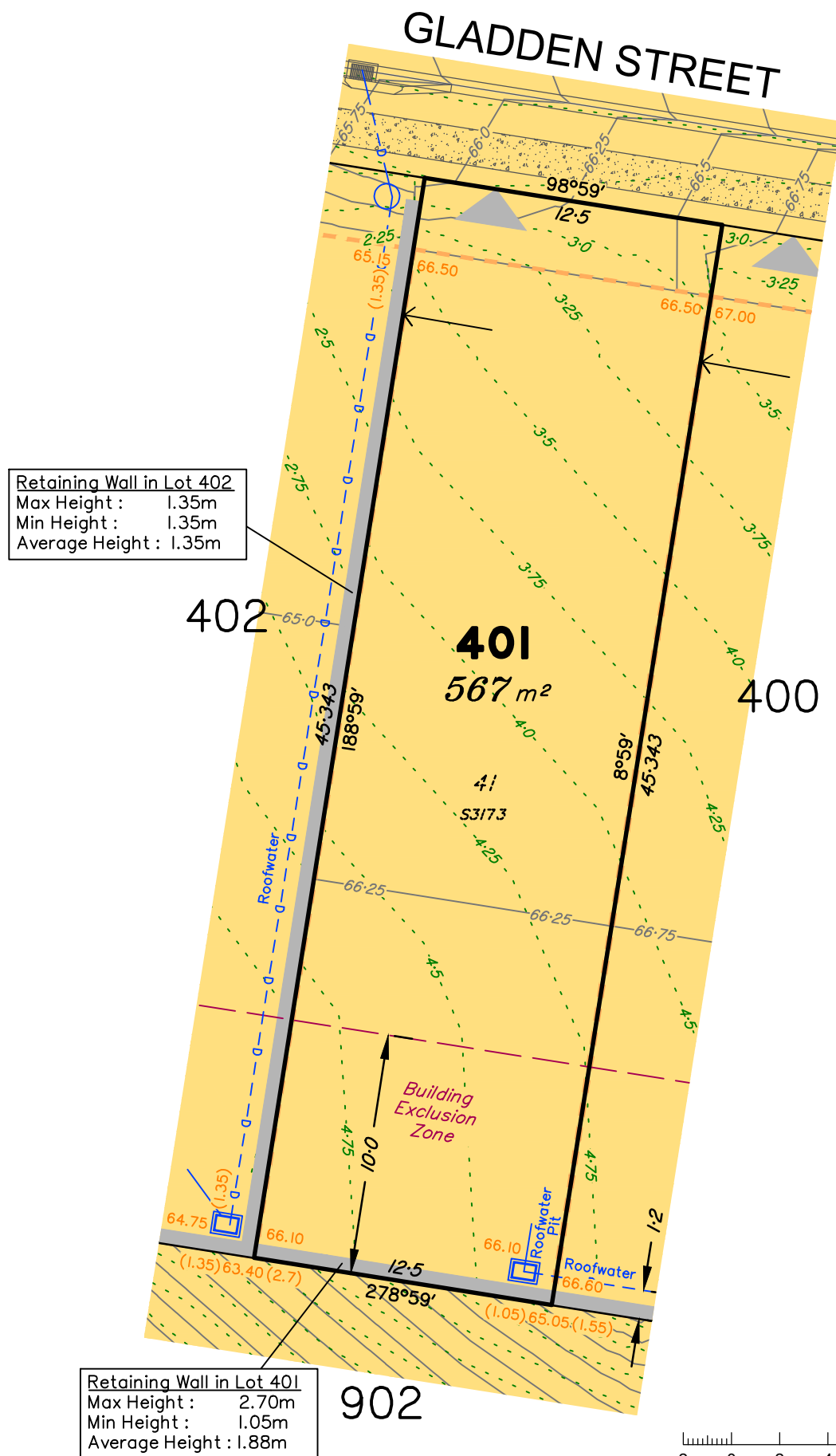
Disclosure Plan for Proposed Lot 401 (Restricted) on SP351246

Described as part of Lot 1000 (Restricted) on SP344901
Existing Title Reference: 51358403

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 250
Dwg No. 9780 S 68 DP A_401

STAGE 16



Retaining Wall in Lot 402
Max Height : 1.35m
Min Height : 1.35m
Average Height : 1.35m

Retaining Wall in Lot 401
Max Height : 2.70m
Min Height : 1.05m
Average Height : 1.88m

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall
(Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 401 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

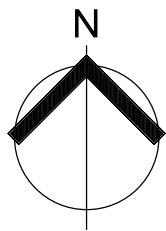
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

As per the approved plan of development, this lot is subject to a 10m wide building exclusion zone from the rear boundary. See the approved plan of development for further details.

No.	by	Date	Chkd	Description
A	MS	29/10/24	PS	Original Issue



Retaining Wall in Lot 402
Max Height : 2.95m
Min Height : 2.82m
Average Height : 2.89m

Retaining Wall in Lot 402
Max Height : 2.93m
Min Height : 2.82m
Average Height : 2.88m

Retaining Wall in Lot 402
Max Height : 2.95m
Min Height : 2.93m
Average Height : 2.94m

Retaining Wall in Lot 402
Max Height : 2.95m
Min Height : 1.35m
Average Height : 2.15m

GLADDEN STREET



Retaining Wall in Lot 402
Max Height : 1.35m
Min Height : 1.35m
Average Height : 1.35m



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Disclosure Plan for Proposed Lot 402 (Restricted) on SP351246

Described as part of Lot 1000 (Restricted) on SP344901
Existing Title Reference: 51358403

Locality of Ripley (Ipswich City Council)

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 402 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

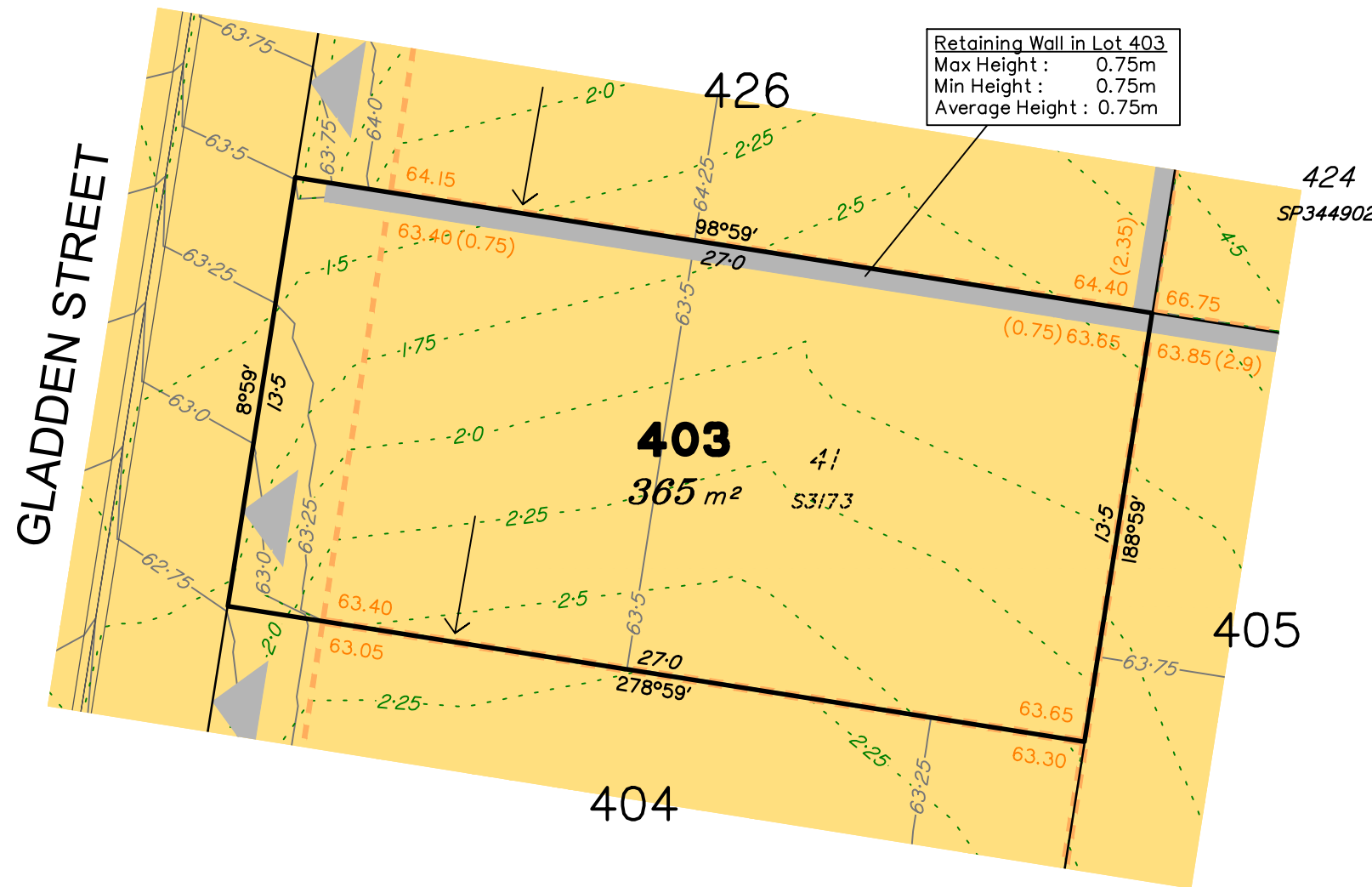
As per the approved plan of development, this lot is subject to a 10m wide building exclusion zone from the rear and western boundary. See the approved plan of development for further details.

No.	by	Date	Chkd	Description
A	MS	29/10/24	PS	Original Issue

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 250
Dwg No. 9780 S 68 DP A_402



STAGE 16



LEGEND

- Area of Fill
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- Top of Batter
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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 403 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

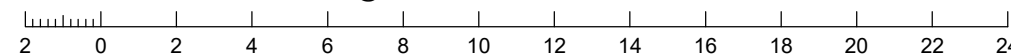
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

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SCALE @A3 1:200 - LENGTHS ARE IN METRES



Issues	No.	by	Date	Chkd	Description
	A	MS	29/10/24	PS	Original Issue



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Disclosure Plan for Proposed Lot 403 (Restricted) on SP351246

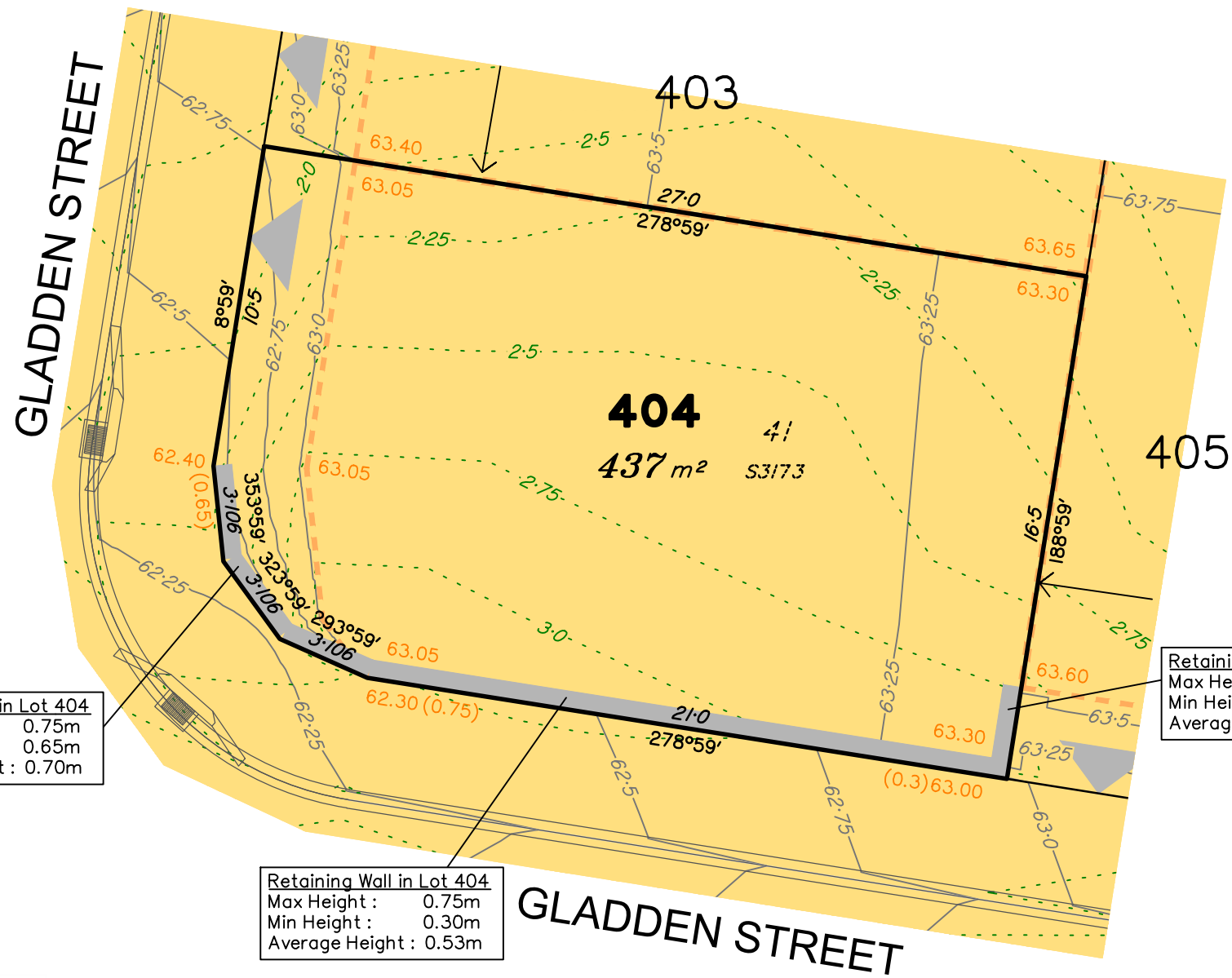
Described as part of Lot 1000 (Restricted) on SP344901
Existing Title Reference: 51358403

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 68 DP A_403



Retaining Wall in Lot 404
Max Height : 0.75m
Min Height : 0.65m
Average Height : 0.70m

Retaining Wall in Lot 404
Max Height : 0.75m
Min Height : 0.30m
Average Height : 0.53m

Retaining Wall in Lot 404
Max Height : 0.30m
Min Height : 0.00m
Average Height : 0.15m

STAGE 16

LEGEND

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- Earthworks Pad Extents
- Top of Batter
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- Future Development Lot Boundary
- Proposed Driveway Location

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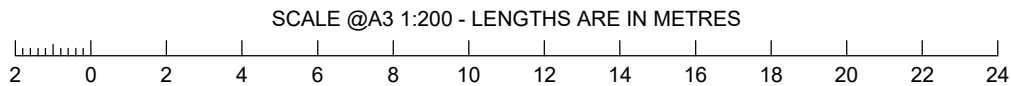
The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 404 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.



Issues	No.	by	Date	Chkd	Description
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Disclosure Plan for Proposed Lot 404 (Restricted) on SP351246

Described as part of Lot 1000 (Restricted) on SP344901
Existing Title Reference: 51358403

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 68 DP A_404



STAGE 16

LEGEND

- Area of Fill
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- Earthworks Pad Extents
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- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 405 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

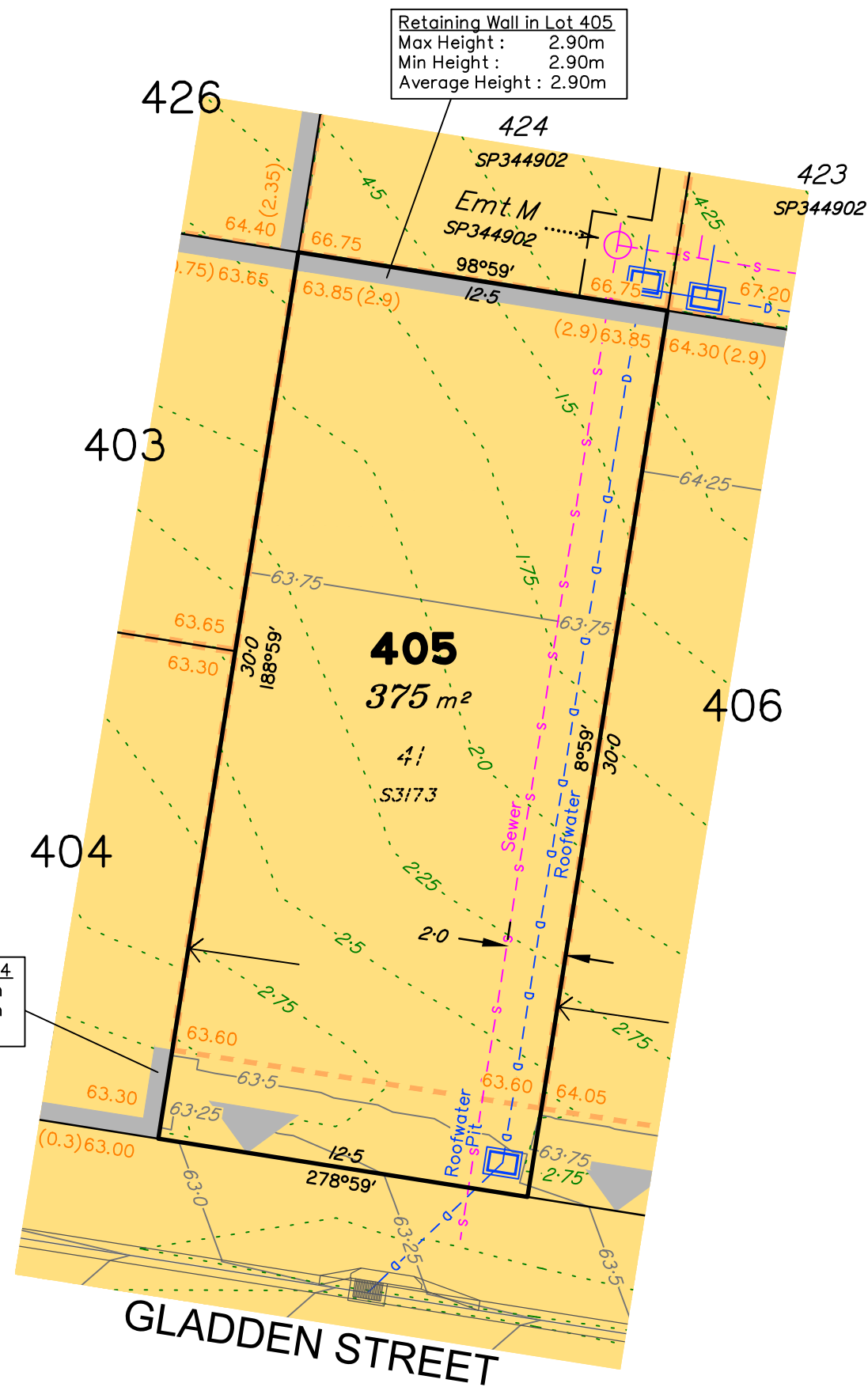
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

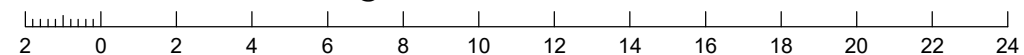
All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

Retaining Wall in Lot 404
Max Height : 0.30m
Min Height : 0.00m
Average Height : 0.15m

Retaining Wall in Lot 405
Max Height : 2.90m
Min Height : 2.90m
Average Height : 2.90m



SCALE @A3 1:200 - LENGTHS ARE IN METRES



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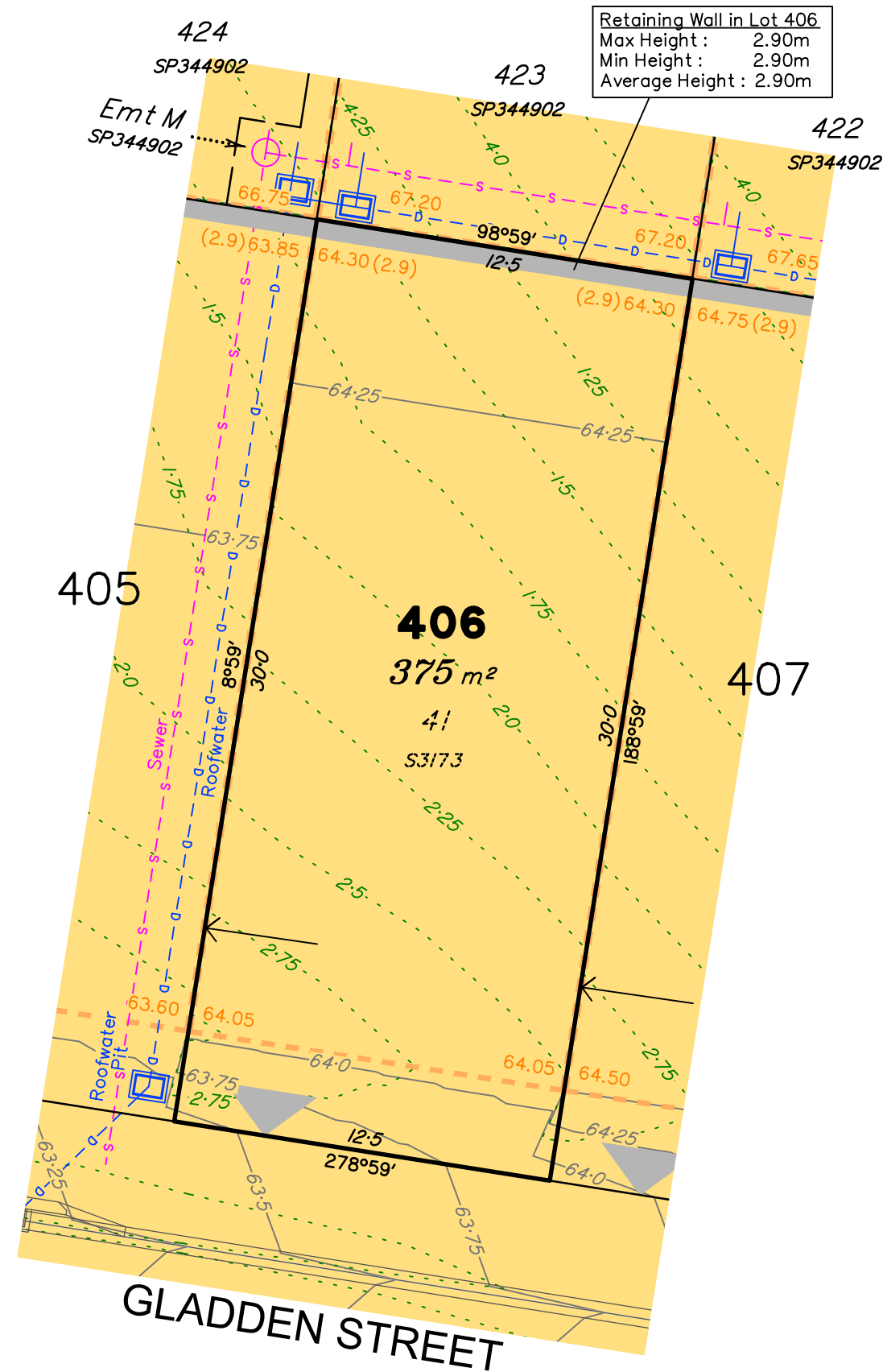
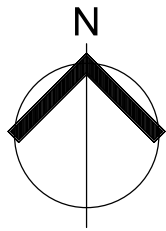
Disclosure Plan for Proposed Lot 405 (Restricted) on SP351246

Described as part of Lot 1000 (Restricted) on SP344901
Existing Title Reference: 51358403

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200
Dwg No. 9780 S 68 DP A_405

Issues	No.	by	Date	Chkd	Description
	A	MS	29/10/24	PS	Original Issue



STAGE 16

LEGEND

- Area of Fill
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- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 406 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

No.	by	Date	Chkd	Description
A	MS	29/10/24	PS	Original Issue

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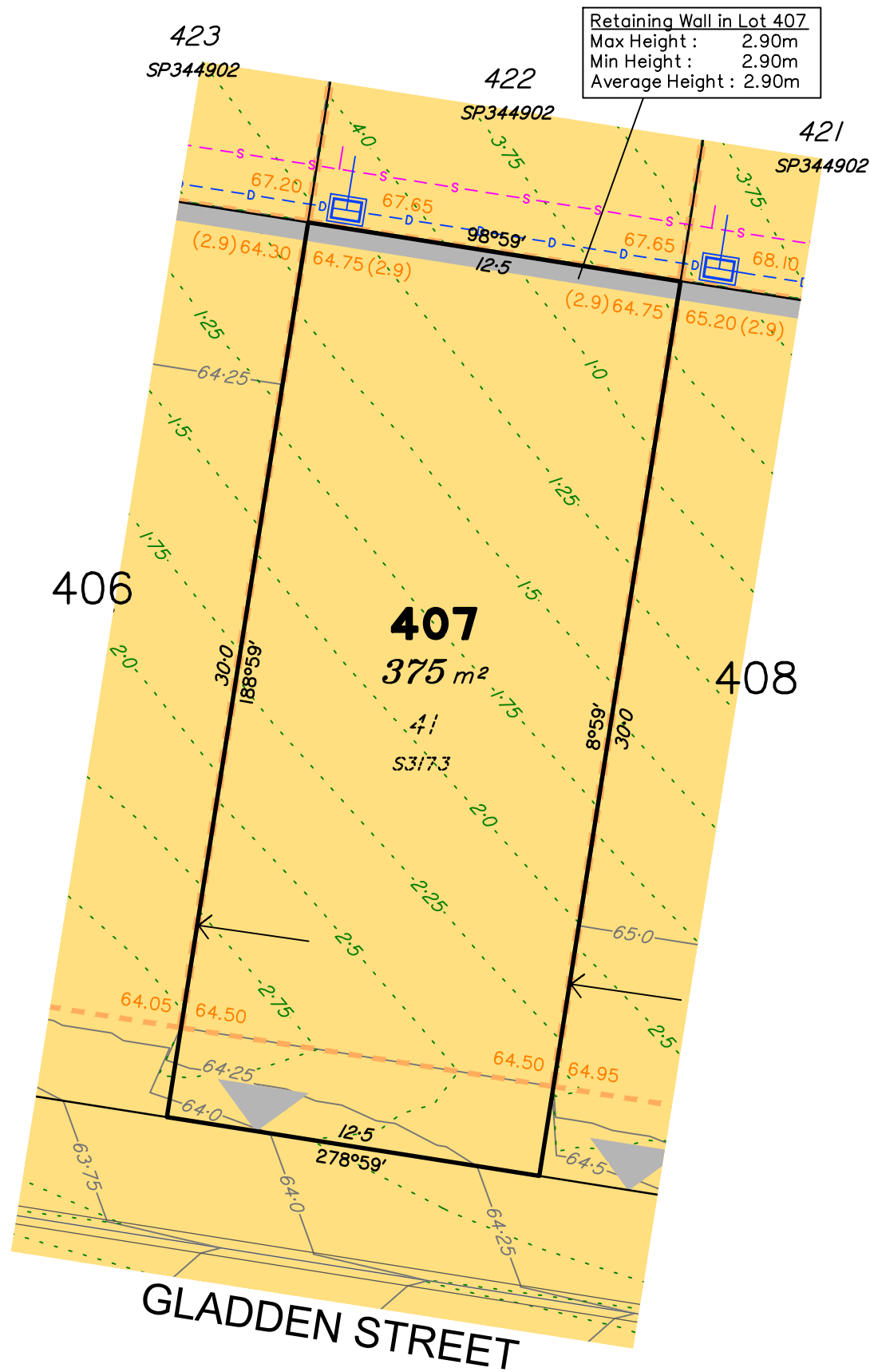
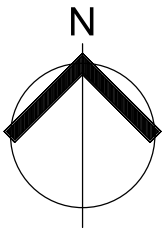
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Disclosure Plan for Proposed Lot 406 (Restricted) on SP351246

Described as part of Lot 1000 (Restricted) on SP344901
Existing Title Reference: 51358403

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200
Dwg No. 9780 S 68 DP A_406



STAGE 16

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

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NOTES

This plan has been prepared from preliminary survey plan (SP351246) and engineering plans provided on the 14/10/24 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

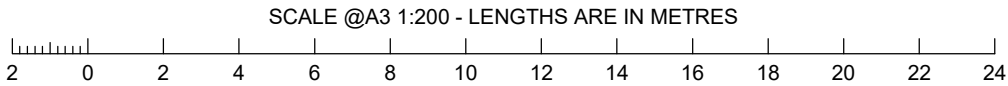
The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 407 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

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Issues	No.	by	Date	Chkd	Description
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Disclosure Plan for Proposed Lot 407 (Restricted) on SP351246

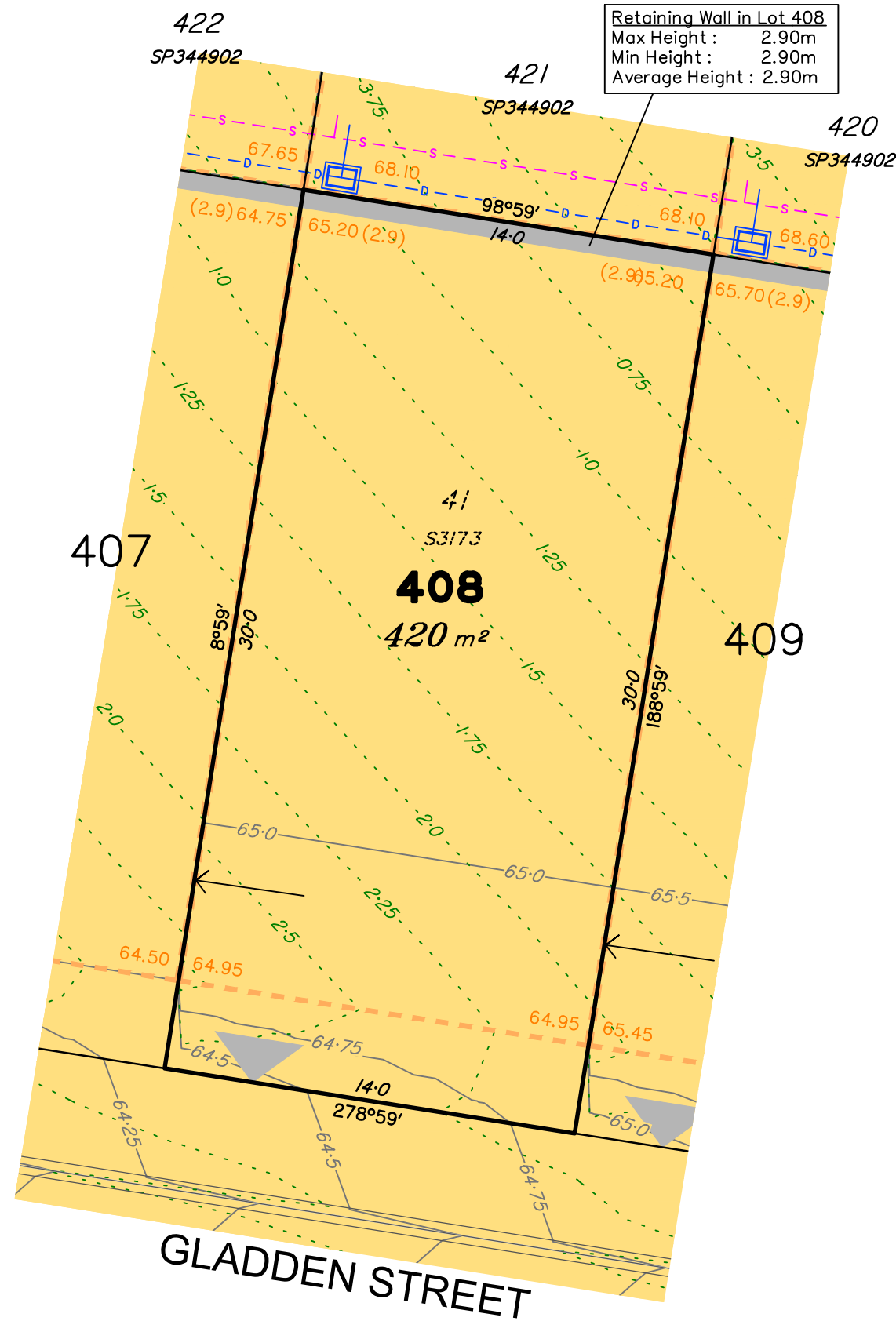
Described as part of Lot 1000 (Restricted) on SP344901
Existing Title Reference: 51358403

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200
Dwg No. 9780 S 68 DP A_407



STAGE 16



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
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- Proposed Driveway Location

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NOTES

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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 408 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

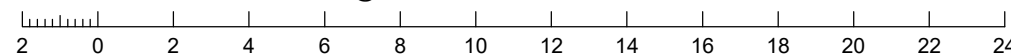
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

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SCALE @A3 1:200 - LENGTHS ARE IN METRES



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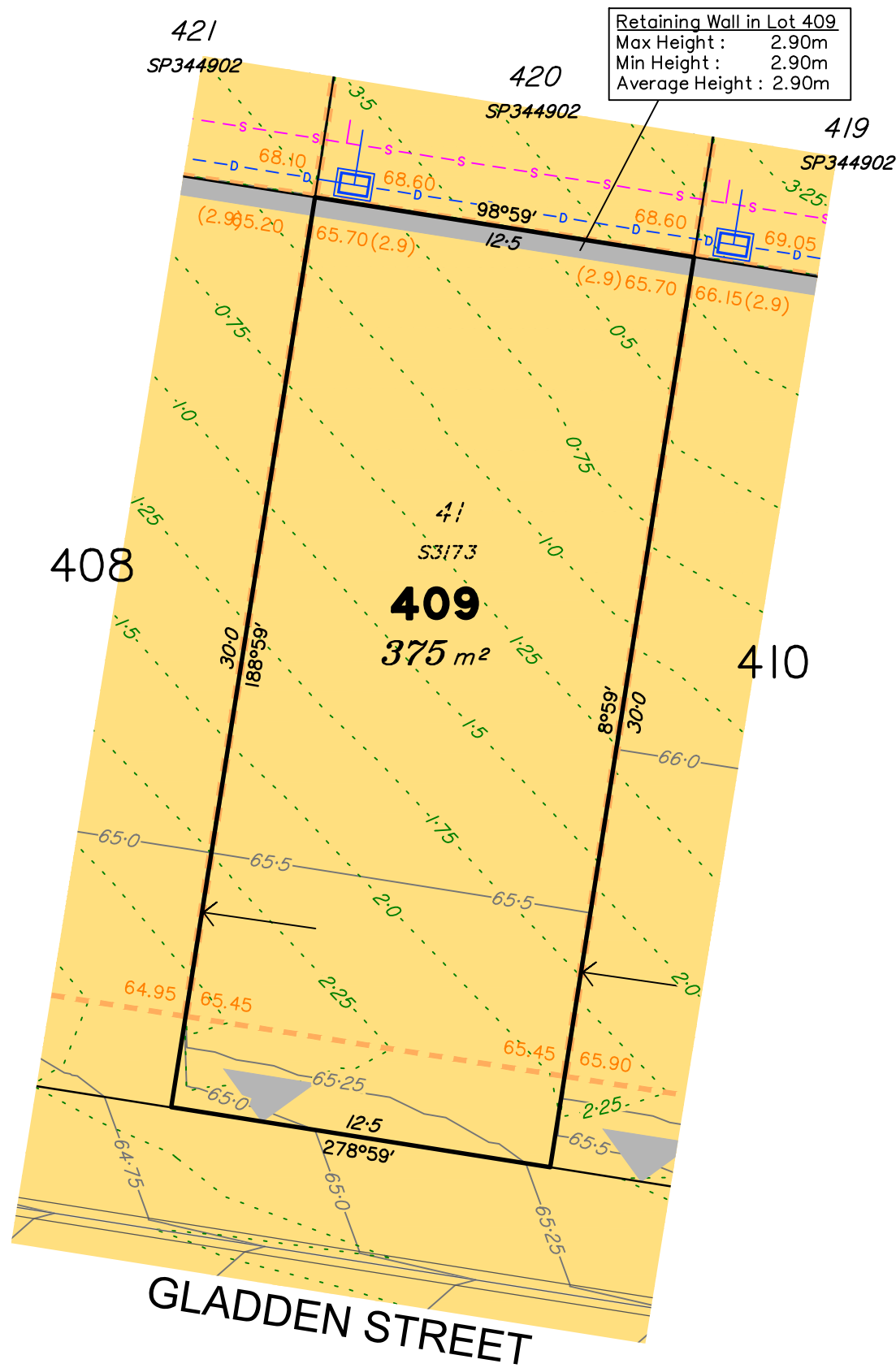
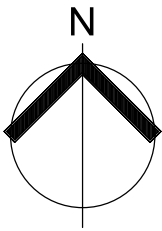
Disclosure Plan for Proposed Lot 408 (Restricted) on SP351246

Described as part of Lot 1000 (Restricted) on SP344901
Existing Title Reference: 51358403

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200
Dwg No. 9780 S 68 DP A_408

Issues	No.	by	Date	Chkd	Description
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STAGE 16

LEGEND

- Area of Fill
- Area of Cut
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- Proposed Driveway Location

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NOTES

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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 409 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

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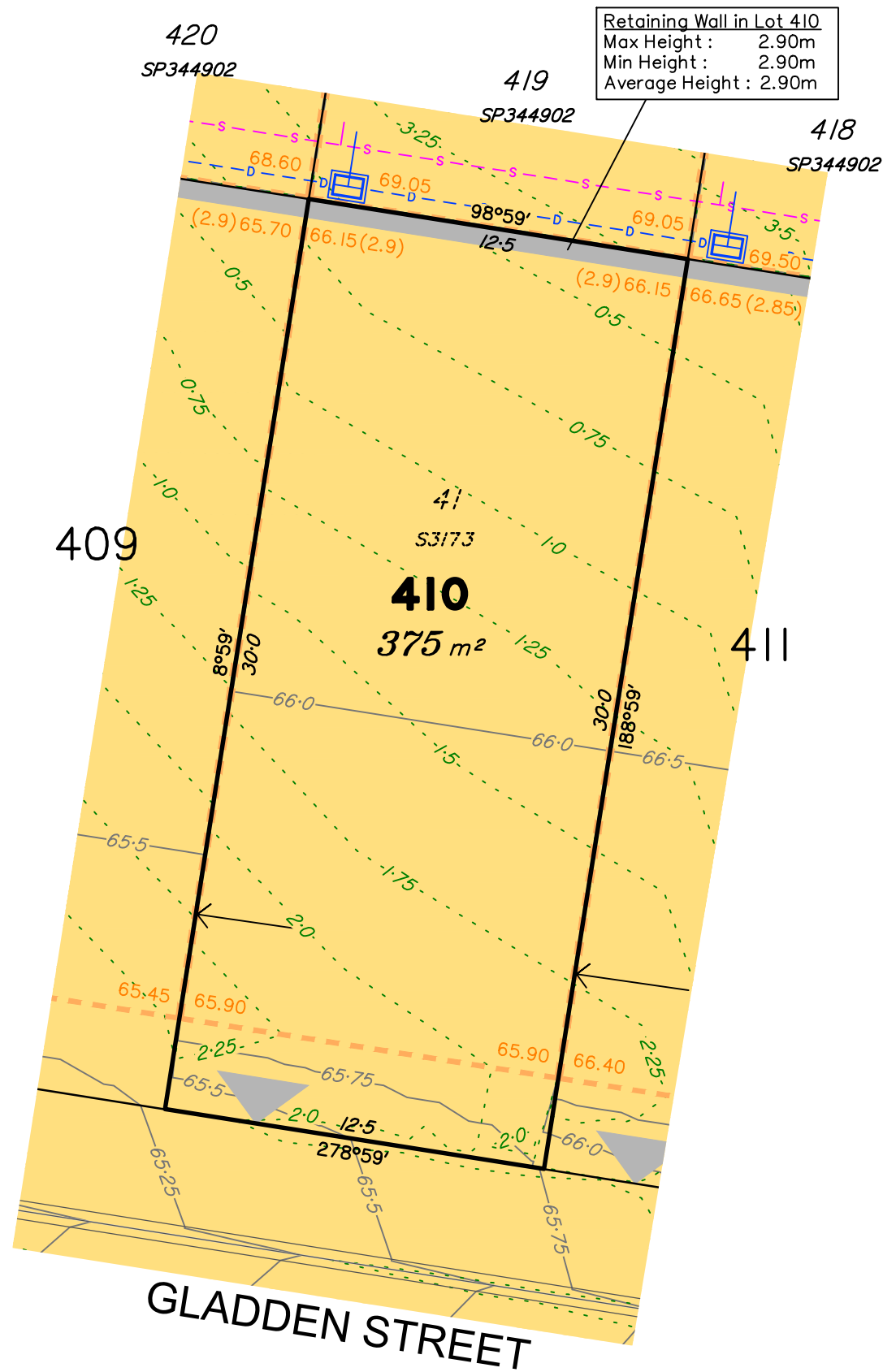
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Disclosure Plan for Proposed Lot 409 (Restricted) on SP351246

Described as part of Lot 1000 (Restricted) on SP344901
Existing Title Reference: 51358403

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200
Dwg No. 9780 S 68 DP A_409



STAGE 16

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351246) and engineering plans provided on the 14/10/24 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 410 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

Issues	No.	by	Date	Chkd	Description
	A	MS	29/10/24	PS	Original Issue

BELLEVUE
RIPLEY

SCALE @A3 1:200 - LENGTHS ARE IN METRES

SH saunders
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Brisbane Springfield
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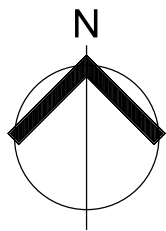
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Disclosure Plan for Proposed Lot 410 (Restricted) on SP351246

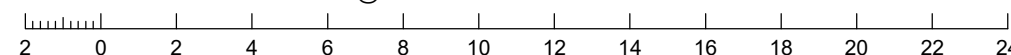
Described as part of Lot 1000 (Restricted) on SP344901
Existing Title Reference: 51358403

Locality of Ripley (Ipswich City Council)

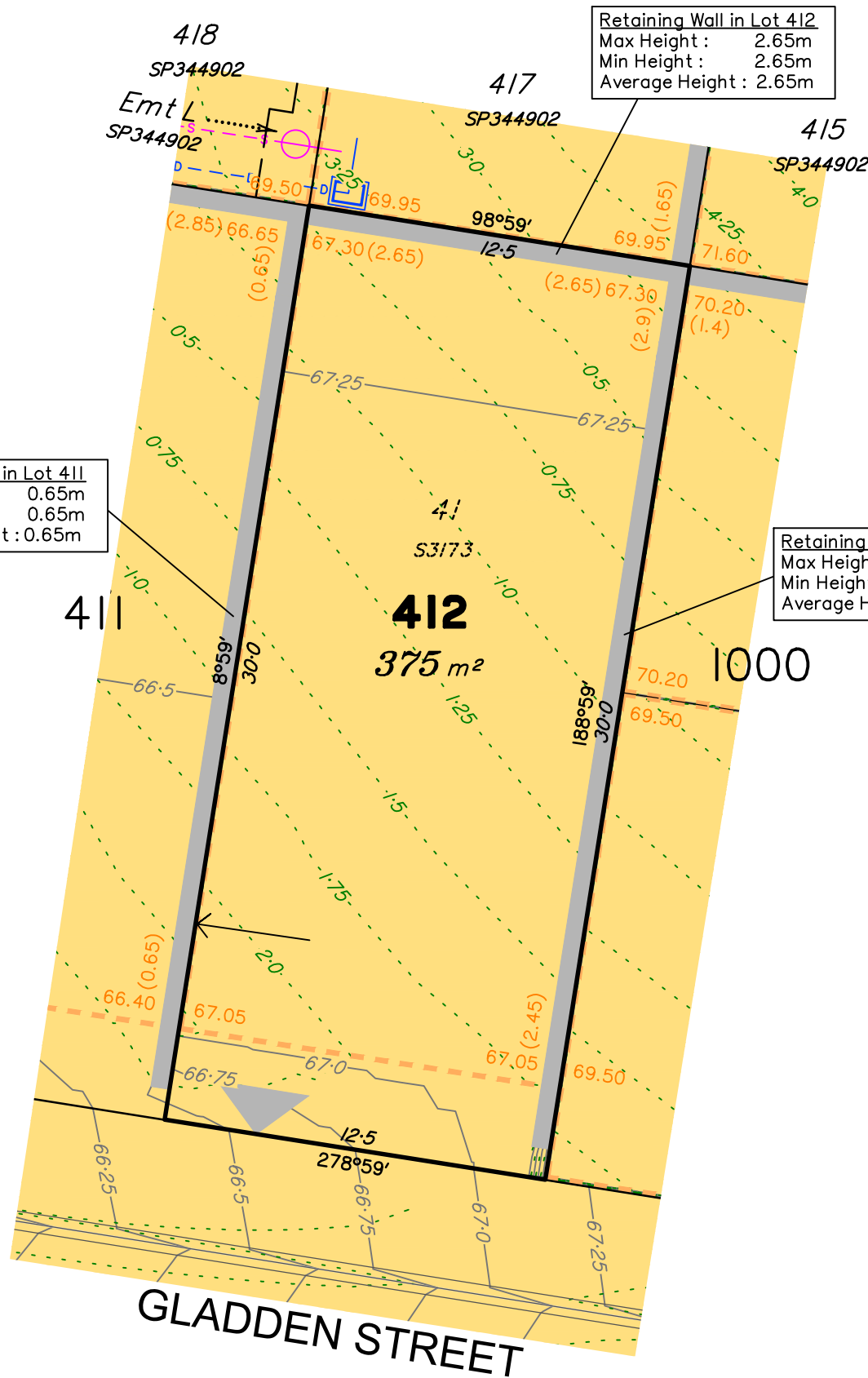
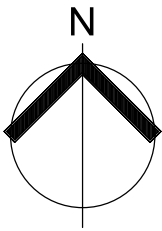
Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200
Dwg No. 9780 S 68 DP A_410



Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200
Dwg No. 9780 S 68 DP A 411



Locality of Ripley (Ipswich City Council)



STAGE 16

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

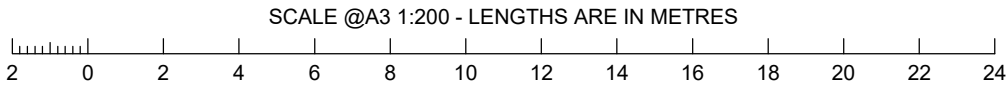
The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 412 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

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Issues	No.	by	Date	Chkd	Description
	A	MS	29/10/24	PS	Original Issue



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Disclosure Plan for Proposed Lot 412 (Restricted) on SP351246

Described as part of Lot 1000 (Restricted) on SP344901
Existing Title Reference: 51358403

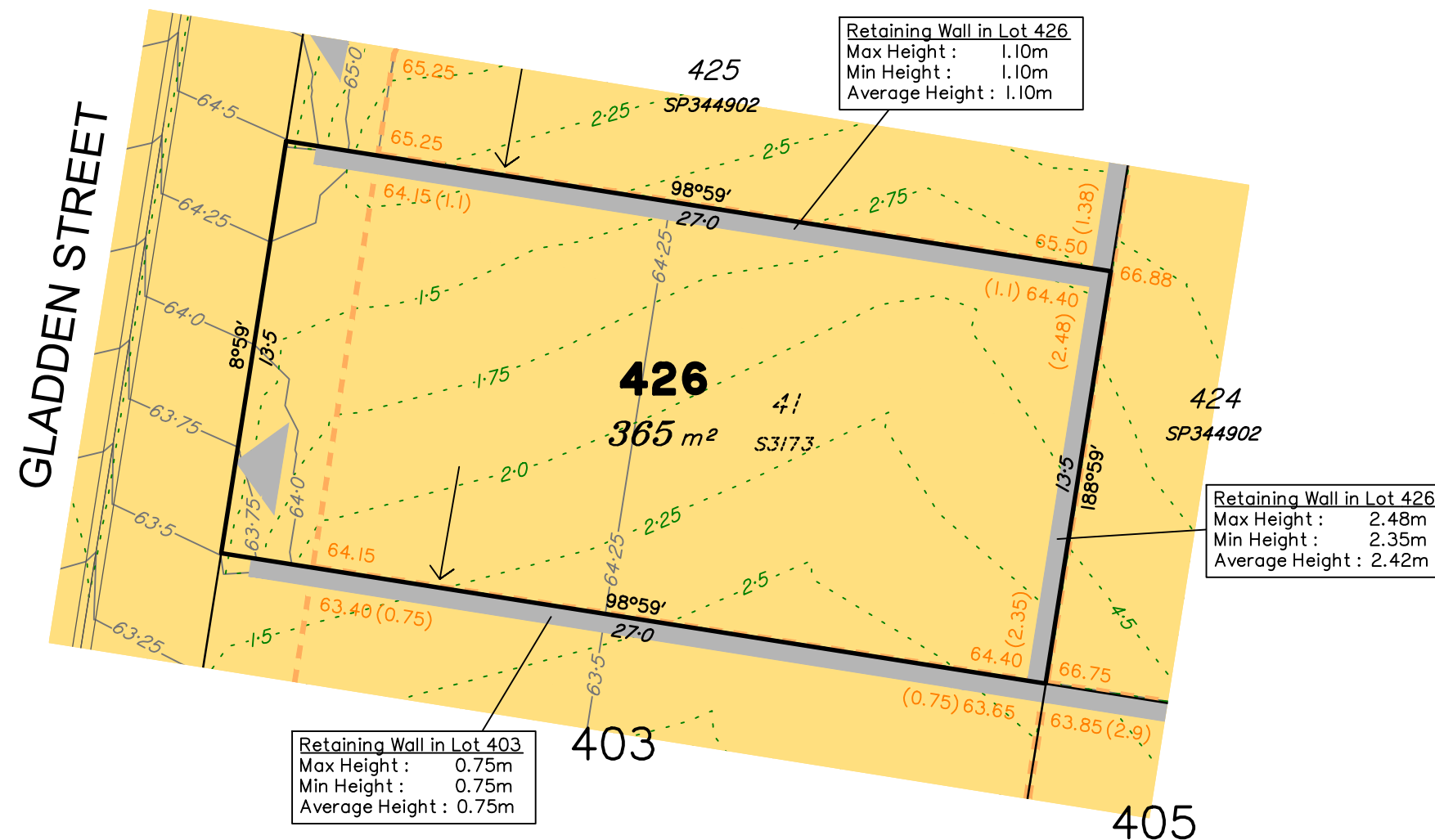
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m

Scale @A3 1: 200
Dwg No. 9780 S 68 DP A_412



STAGE 16



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351246) and engineering plans provided on the 14/10/24 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 426 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

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Disclosure Plan for Proposed Lot 426 (Restricted) on SP351246

Described as part of Lot 1000 (Restricted) on SP344901
Existing Title Reference: 51358403

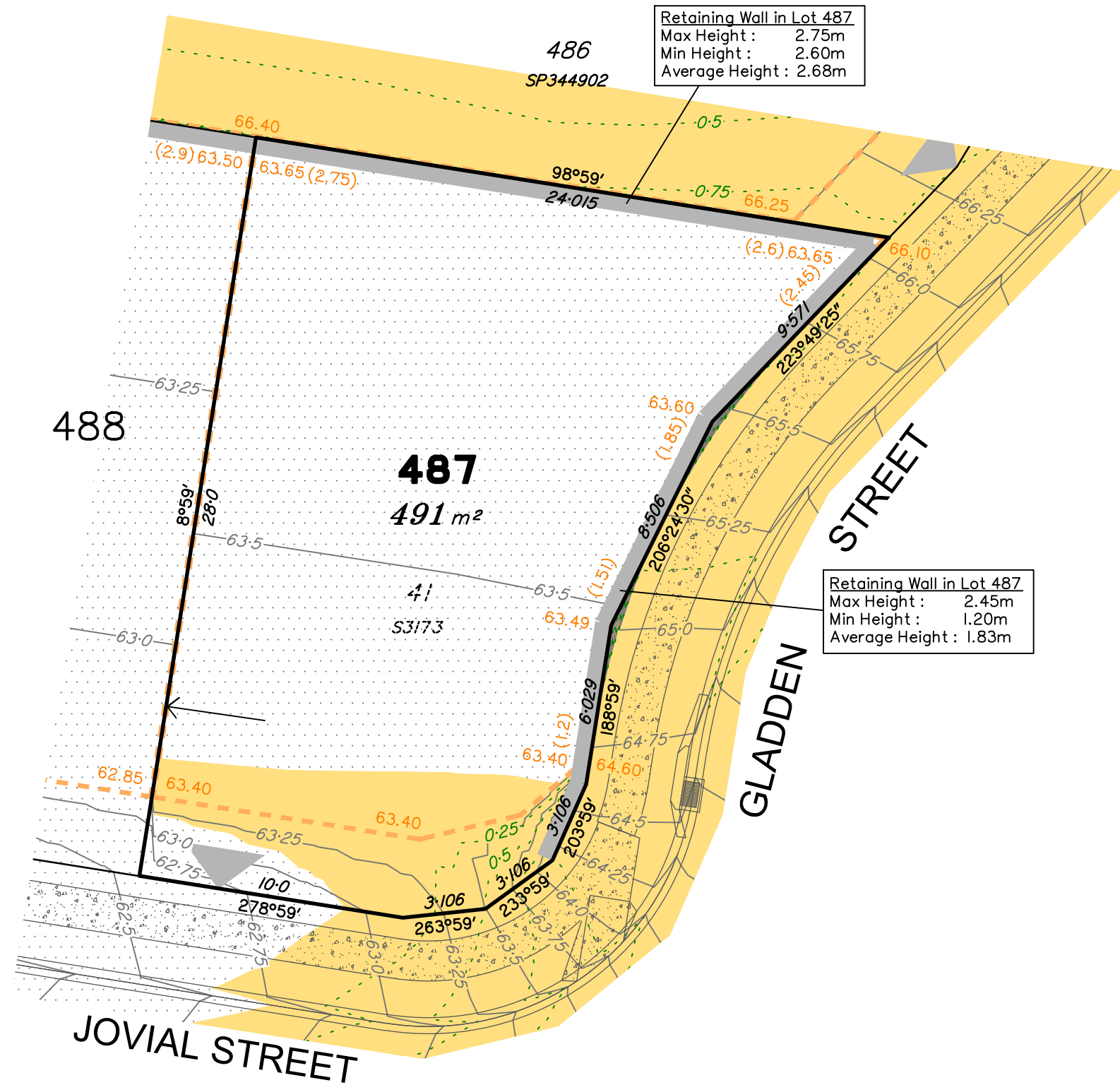
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200
Dwg No. 9780 S 68 DP A_426

Issues	No.	by	Date	Chkd	Description
	A	MS	29/10/24	PS	Original Issue



STAGE 16



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351246) and engineering plans provided on the 14/10/24 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 487 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

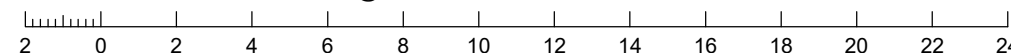
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



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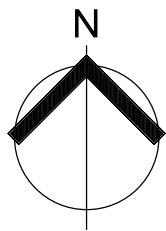
Disclosure Plan for Proposed Lot 487 (Restricted) on SP351246

Described as part of Lot 1000 (Restricted) on SP344901
Existing Title Reference: 51358403

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200
Dwg No. 9780 S 68 DP A_487

Issues	No.	by	Date	Chkd	Description
	A	MS	29/10/24	PS	Original Issue



STAGE 16

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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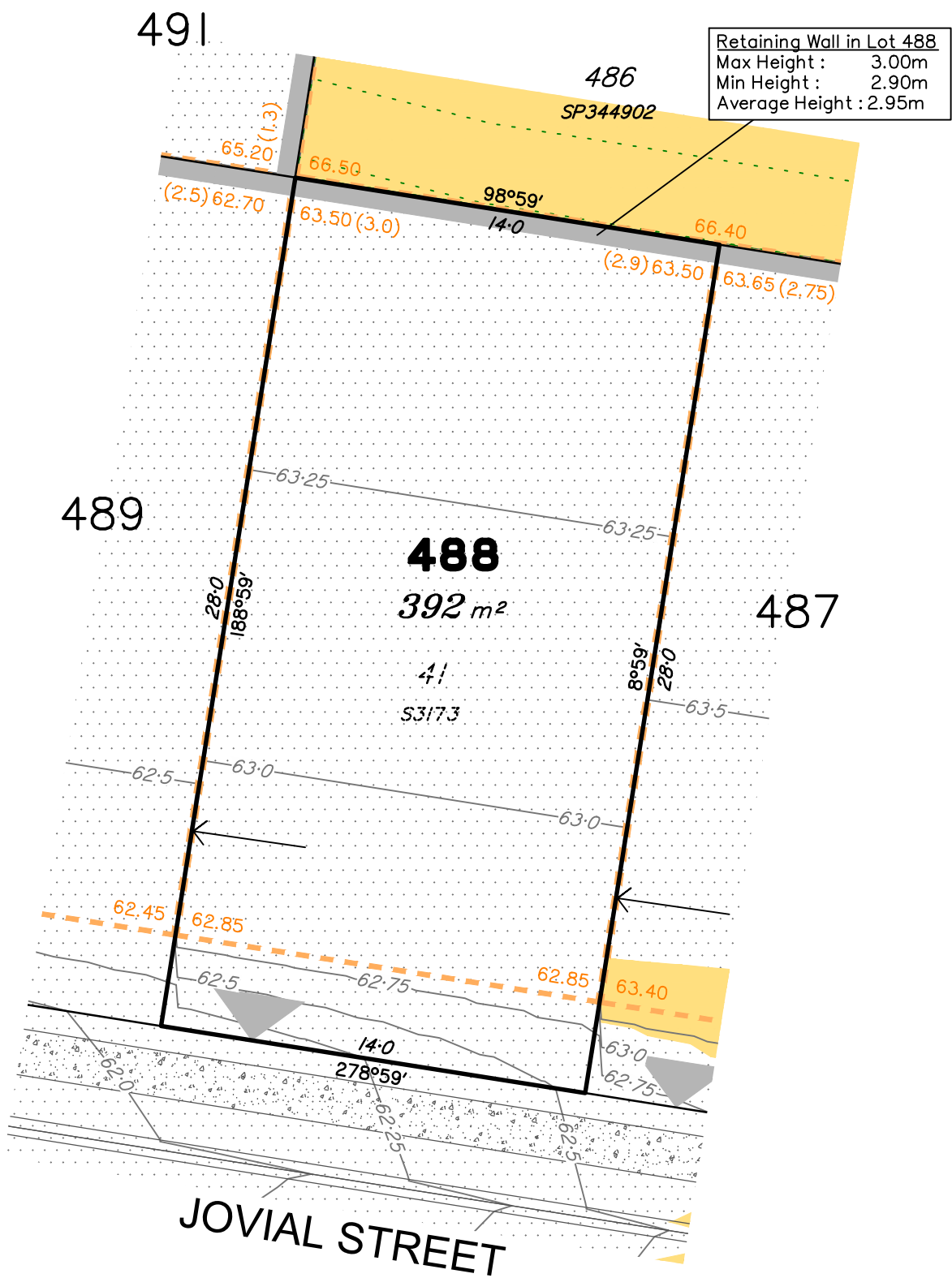
The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 488 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



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Disclosure Plan for Proposed Lot 488 (Restricted) on SP351246

Described as part of Lot 1000 (Restricted) on SP344901
Existing Title Reference: 51358403

Locality of Ripley (Ipswich City Council)

Issues	No.	by	Date	Chkd	Description
	A	MS	29/10/24	PS	Original Issue

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200
Dwg No. 9780 S 68 DP A_488



STAGE 16

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351246) and engineering plans provided on the 14/10/24 by Colliers Engineering & Design.

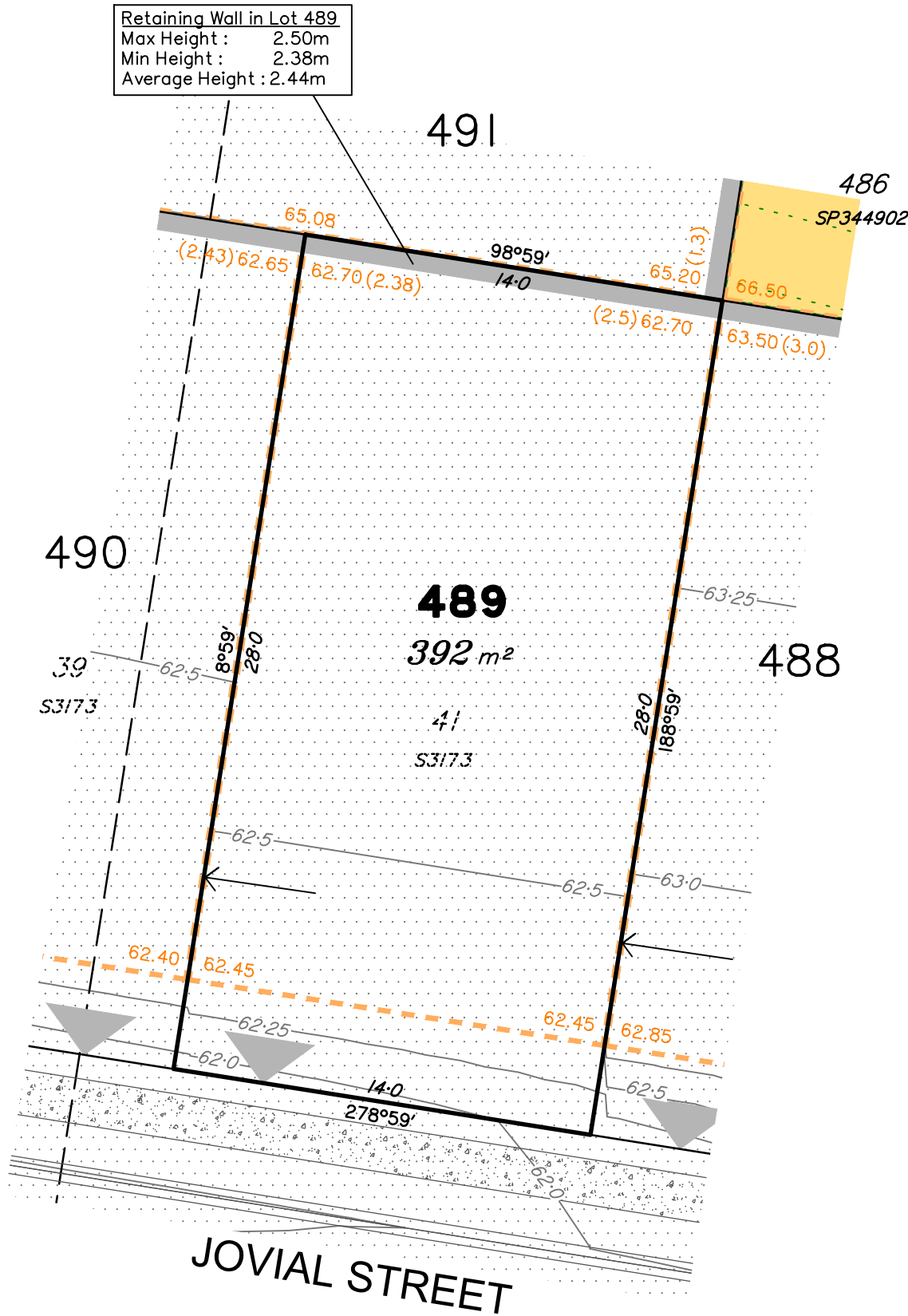
The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

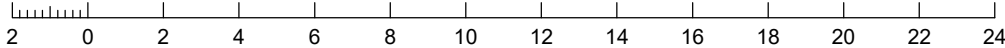
Lot 489 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



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Disclosure Plan for Proposed Lot 489 (Restricted) on SP351246

Described as part of Lot 1000 (Restricted) on SP344901
Existing Title Reference: 51358403

Locality of Ripley (Ipswich City Council)

Issues	No.	by	Date	Chkd	Description
	A	MS	29/10/24	PS	Original Issue

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200
Dwg No. 9780 S 68 DP A_489



STAGE 16

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- XX.XX Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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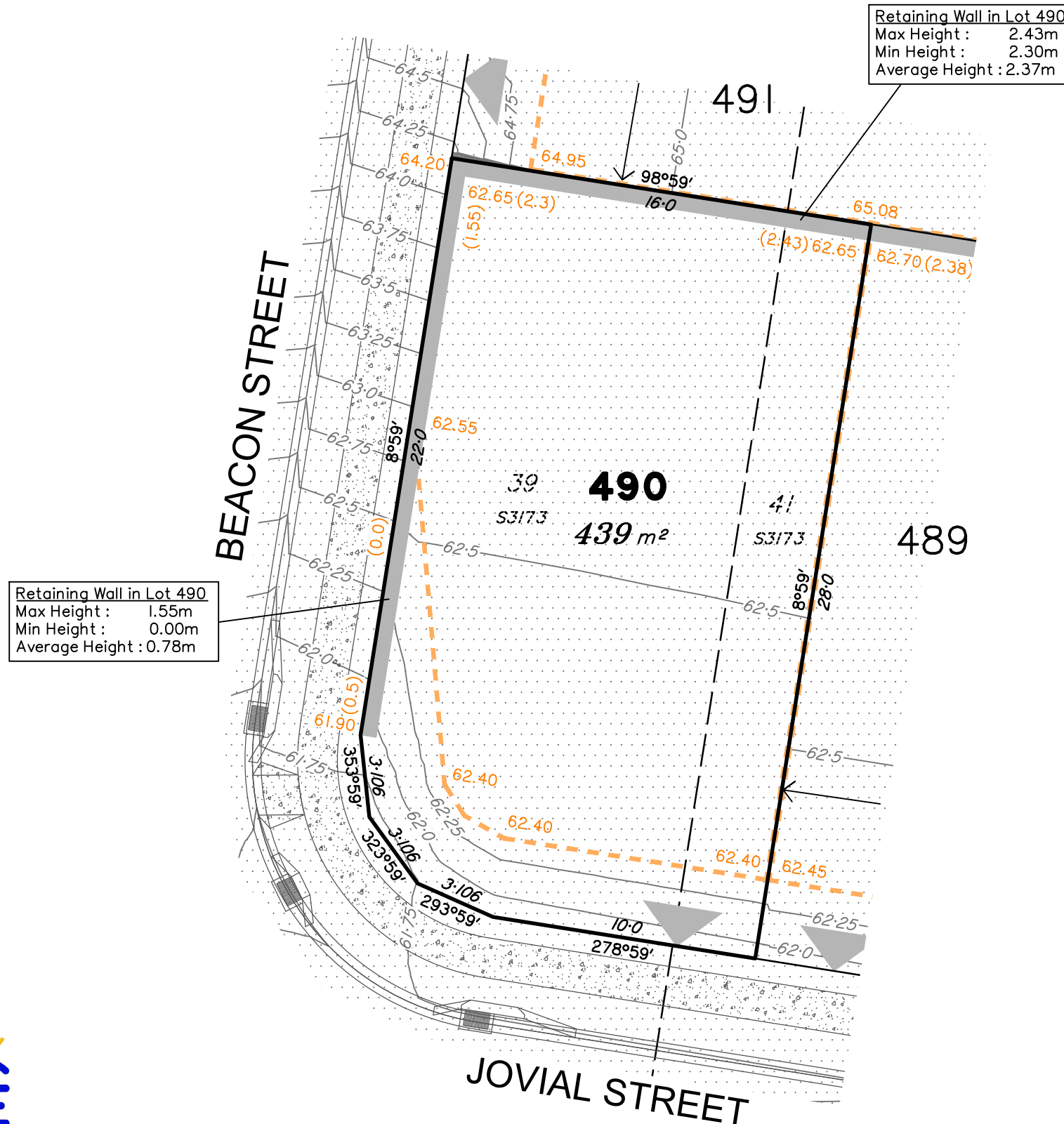
The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 490 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



Retaining Wall in Lot 490
Max Height : 1.55m
Min Height : 0.00m
Average Height : 0.78m

Retaining Wall in Lot 490
Max Height : 2.43m
Min Height : 2.30m
Average Height : 2.37m

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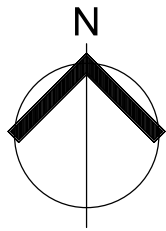
Disclosure Plan for Proposed Lot 490 (Restricted) on SP351246

Described as part of Lot 1000 (Restricted) on SP344901 & Lot 2 (Restricted) on RP196154
Existing Title Reference: 51358403, 16944009, 16944010 & 16944011

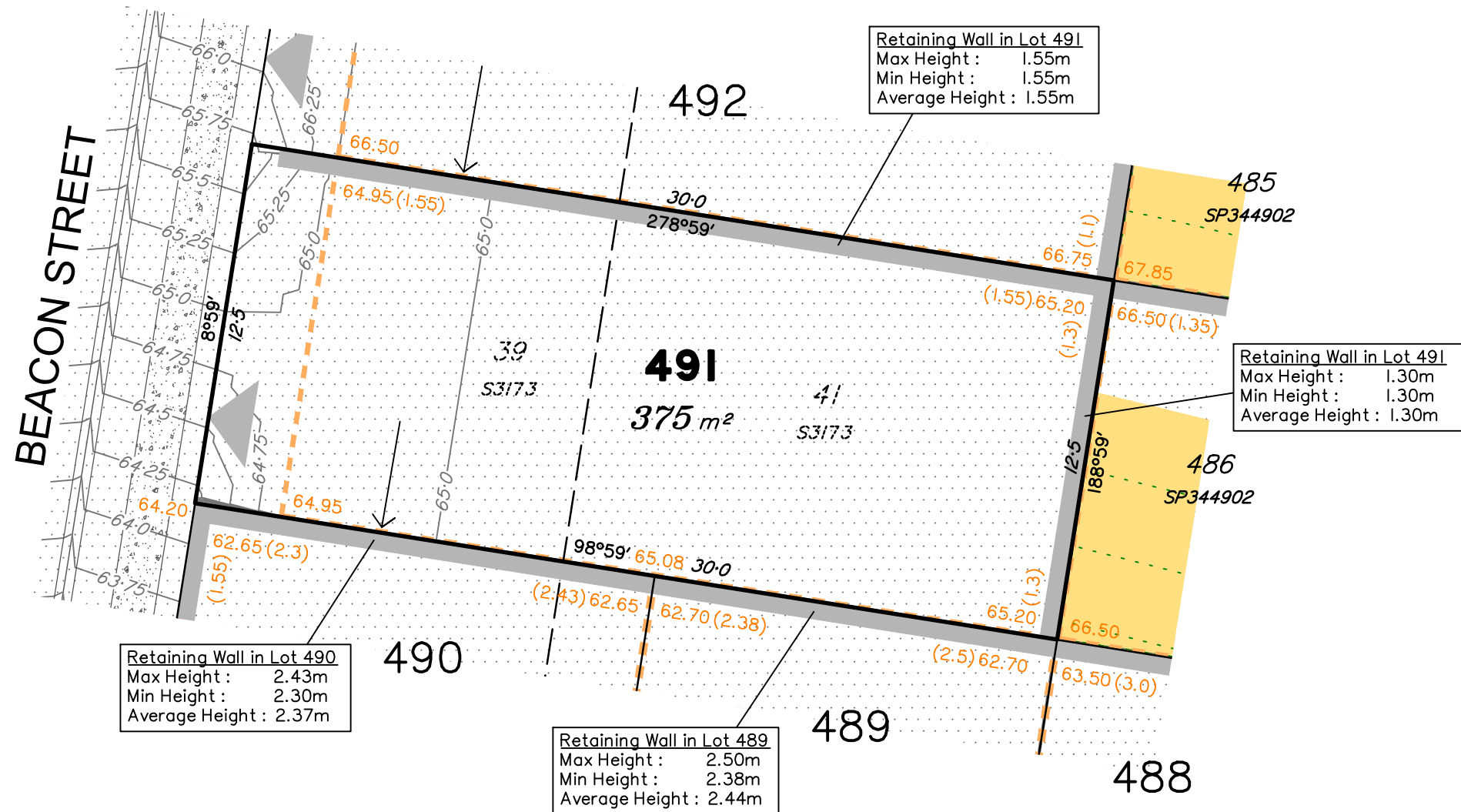
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200
Dwg No. 9780 S 68 DP A_490

Issues	No.	by	Date	Chkd	Description
	A	MS	29/10/24	PS	Original Issue



STAGE 16



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- XX.XX Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

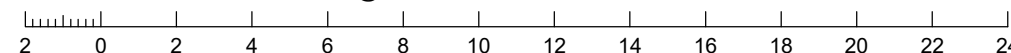
Lot 491 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



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Disclosure Plan for Proposed Lot 491 (Restricted) on SP351246

Described as part of Lot 1000 (Restricted) on SP344901 & Lot 2 (Restricted) on RP196154
Existing Title Reference: 51358403, 16944009, 16944010 & 16944011

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m

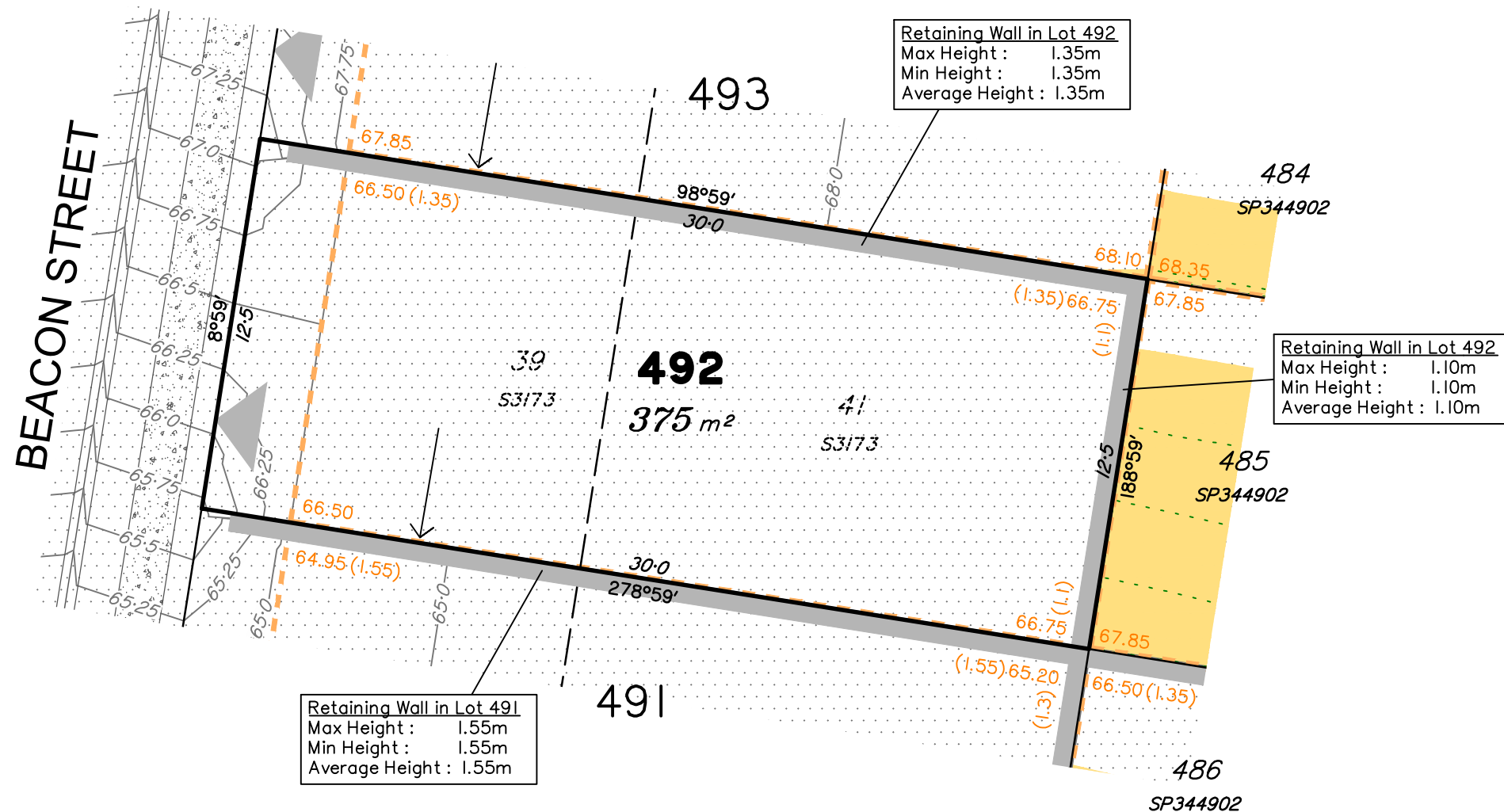
Scale @A3 1: 200

Dwg No. 9780 S 68 DP A_491

Issues	No.	by	Date	Chkd	Description
	A	MS	29/10/24	PS	Original Issue



STAGE 16



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351246) and engineering plans provided on the 14/10/24 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

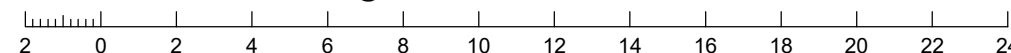
Lot 492 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



No.	by	Date	Chkd	Description
A	MS	29/10/24	PS	Original Issue



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Disclosure Plan for Proposed Lot 492 (Restricted) on SP351246

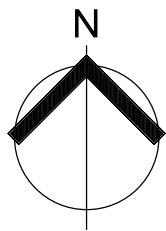
Described as part of Lot 1000 (Restricted) on SP344901 & Lot 2 (Restricted) on RP196154
Existing Title Reference: 51358403, 16944009, 16944010 & 16944011

Locality of Ripley (Ipswich City Council)

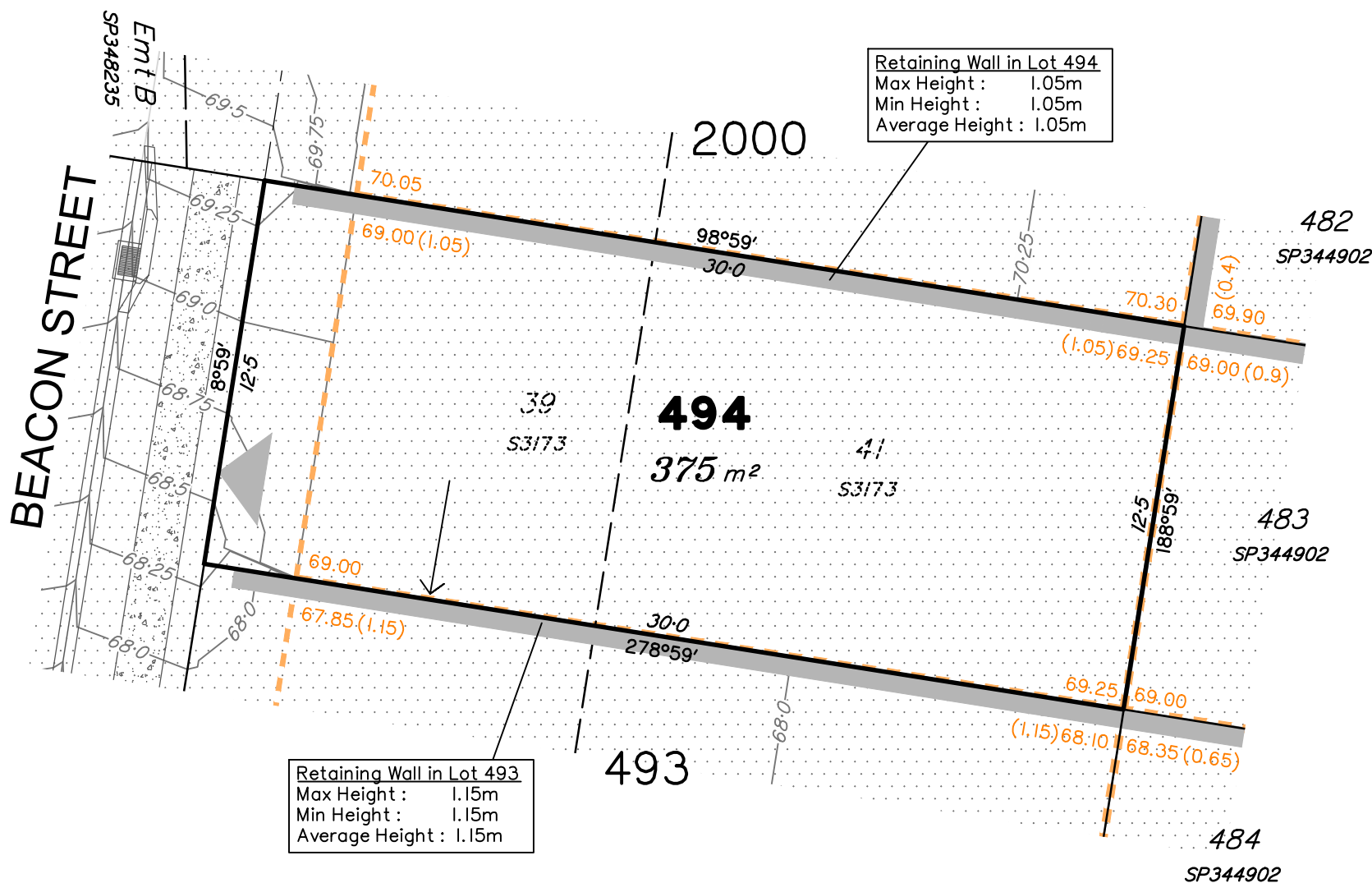
Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 68 DP A_492



STAGE 16



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351246) and engineering plans provided on the 14/10/24 by Colliers Engineering & Design.

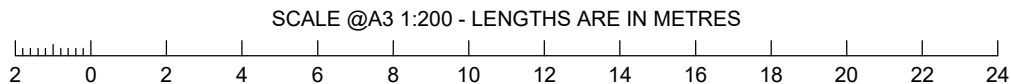
The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 494 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



No.	by	Date	Chkd	Description
A	MS	29/10/24	PS	Original Issue



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Disclosure Plan for Proposed Lot 494 (Restricted) on SP351246

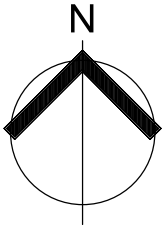
Described as part of Lot 1000 (Restricted) on SP344901 & Lot 2 (Restricted) on RP196154
Existing Title Reference: 51358403, 16944009, 16944010 & 16944011

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 68 DP A_494



STAGE 16

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351246) and engineering plans provided on the 14/10/24 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

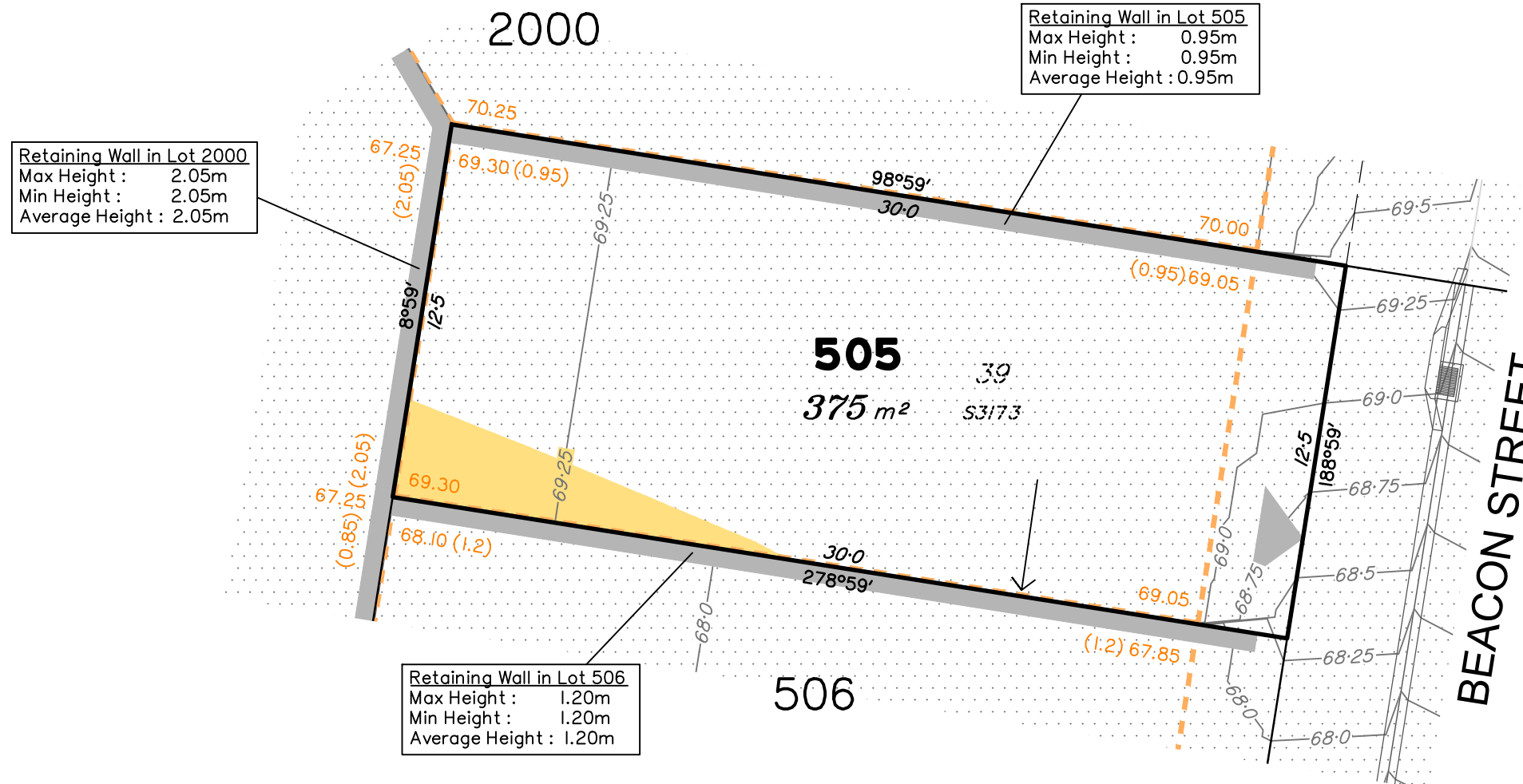
Lot 505 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

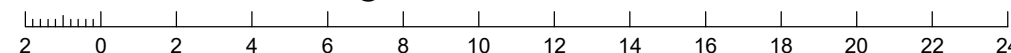
All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

Parts of Lot 505 are subject to areas of fill less than 0.25m in depth.



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SCALE @A3 1:200 - LENGTHS ARE IN METRES



Issues	No.	by	Date	Chkd	Description
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Disclosure Plan for Proposed Lot 505 (Restricted) on SP351246

Described as part of Lot 2 (Restricted) on RP196154
Existing Title Reference: 16944009, 16944010 & 16944011

Locality of Ripley (Ipswich City Council)

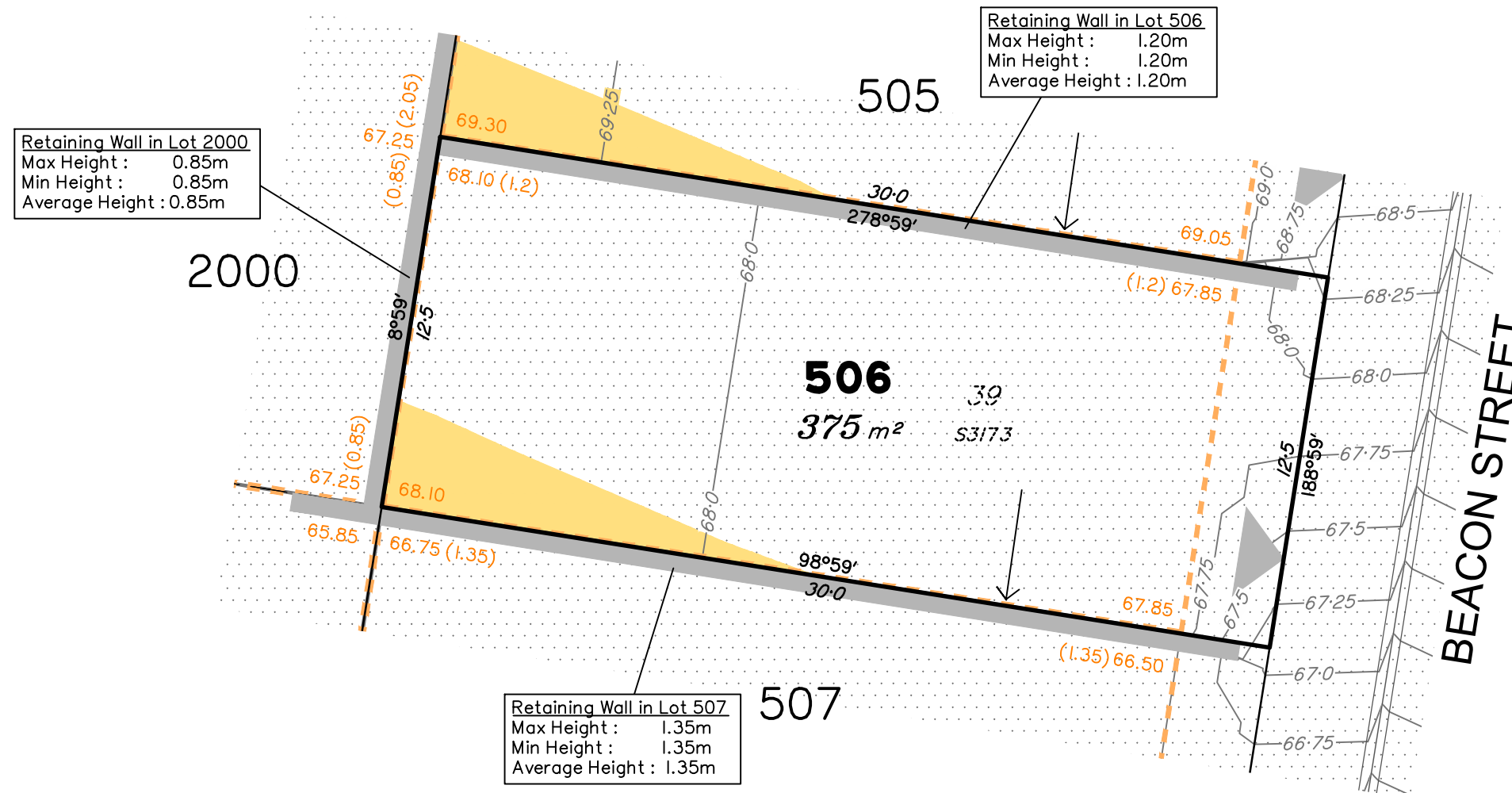
Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 68 DP A_505



STAGE 16



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351246) and engineering plans provided on the 14/10/24 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 506 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

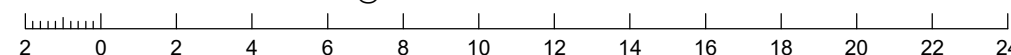
Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

Parts of Lot 506 are subject to areas of fill less than 0.25m in depth.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



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Disclosure Plan for Proposed Lot 506 (Restricted) on SP351246

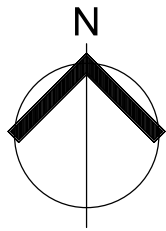
Described as part of Lot 2 (Restricted) on RP196154
Existing Title Reference: 16944009, 16944010 & 16944011

Locality of Ripley (Ipswich City Council)

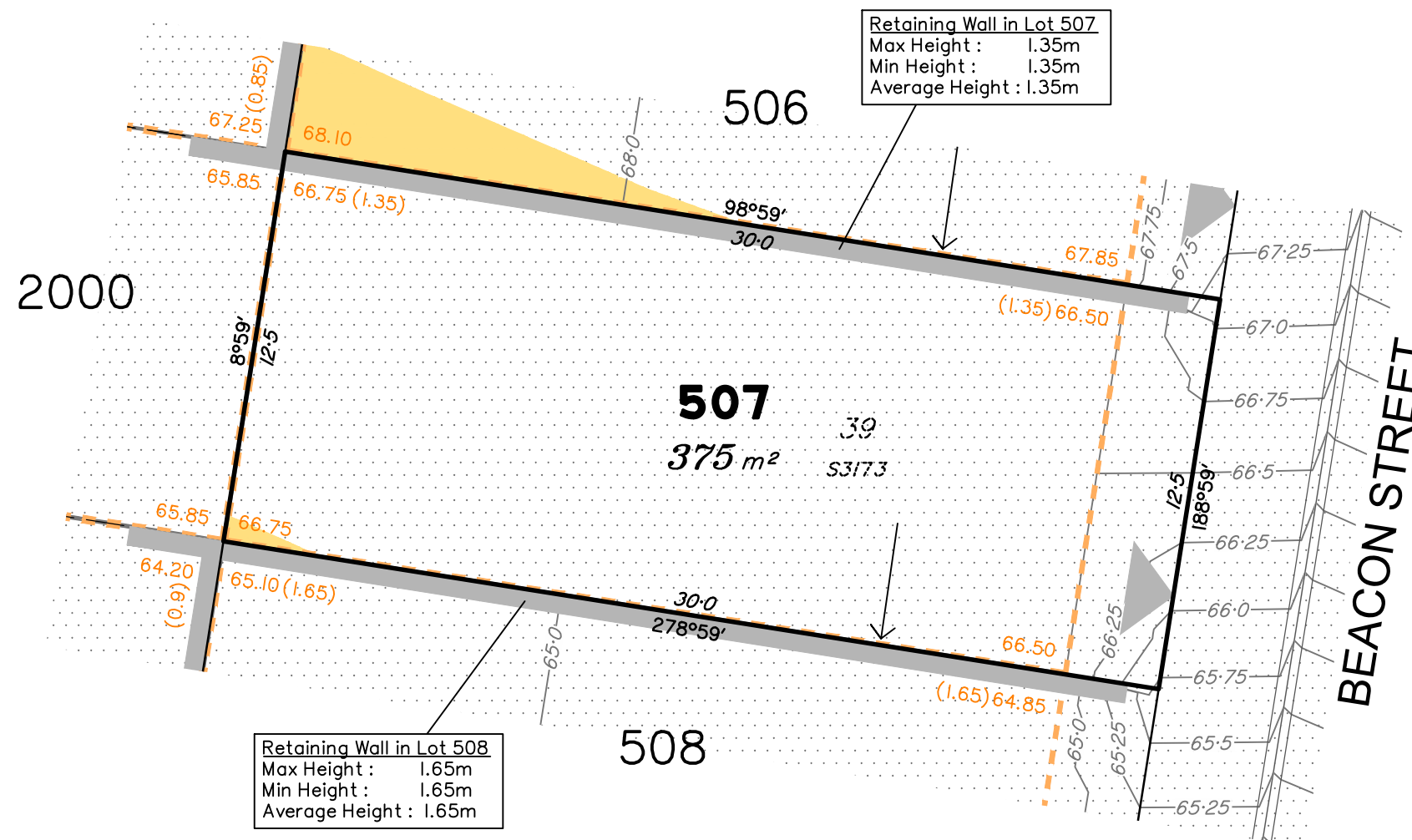
Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 68 DP A_506



STAGE 16



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351246) and engineering plans provided on the 14/10/24 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 507 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

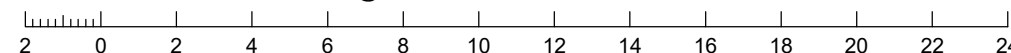
Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

Parts of Lot 507 are subject to areas of fill less than 0.25m in depth.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



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Disclosure Plan for Proposed Lot 507 (Restricted) on SP351246

Described as part of Lot 2 (Restricted) on RP196154
Existing Title Reference: 16944009, 16944010 & 16944011

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m

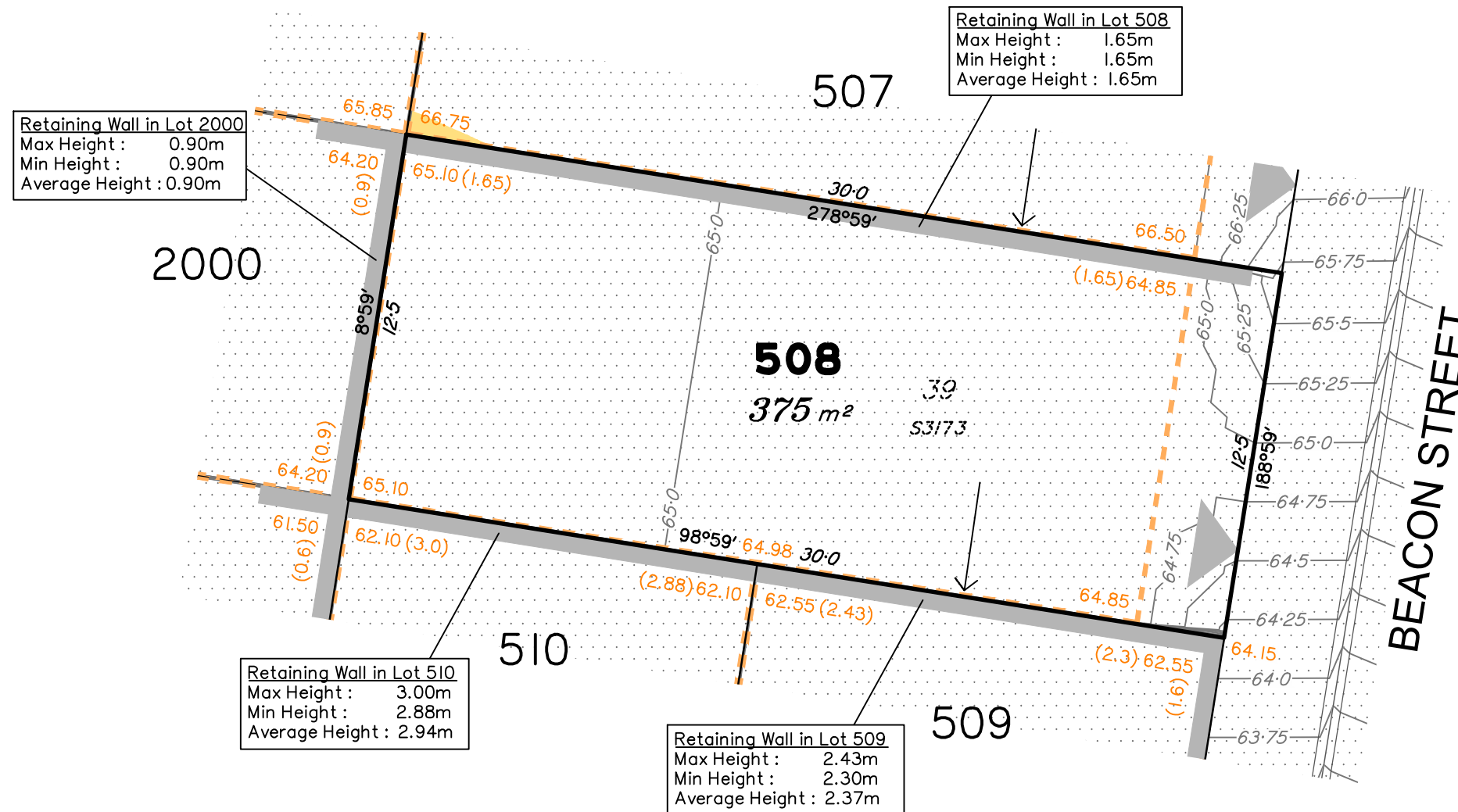
Scale @A3 1: 200

Dwg No. 9780 S 68 DP A_507

No.	by	Date	Chkd	Description
A	MS	29/10/24	PS	Original Issue



STAGE 16



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

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NOTES

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The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 508 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

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Disclosure Plan for Proposed Lot 508 (Restricted) on SP351246

Described as part of Lot 2 (Restricted) on RP196154
Existing Title Reference: 16944009, 16944010 & 16944011

Locality of Ripley (Ipswich City Council)

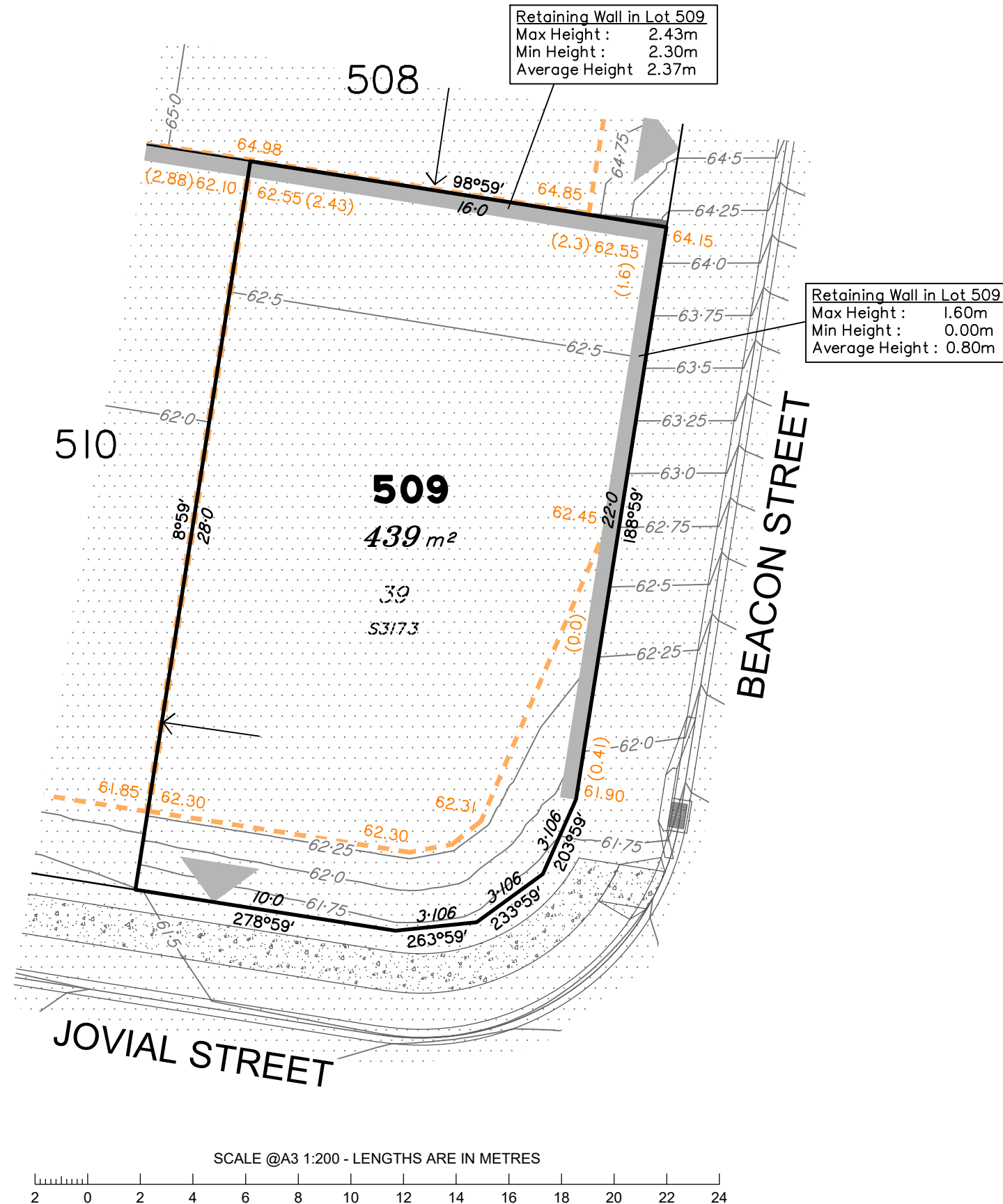
Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 68 DP A_508



STAGE 16



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 509 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



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Disclosure Plan for Proposed Lot 509 (Restricted) on SP351246

Described as part of Lot 2 (Restricted) on RP196154
Existing Title Reference: 16944009, 16944010 & 16944011

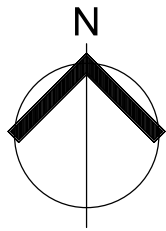
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m

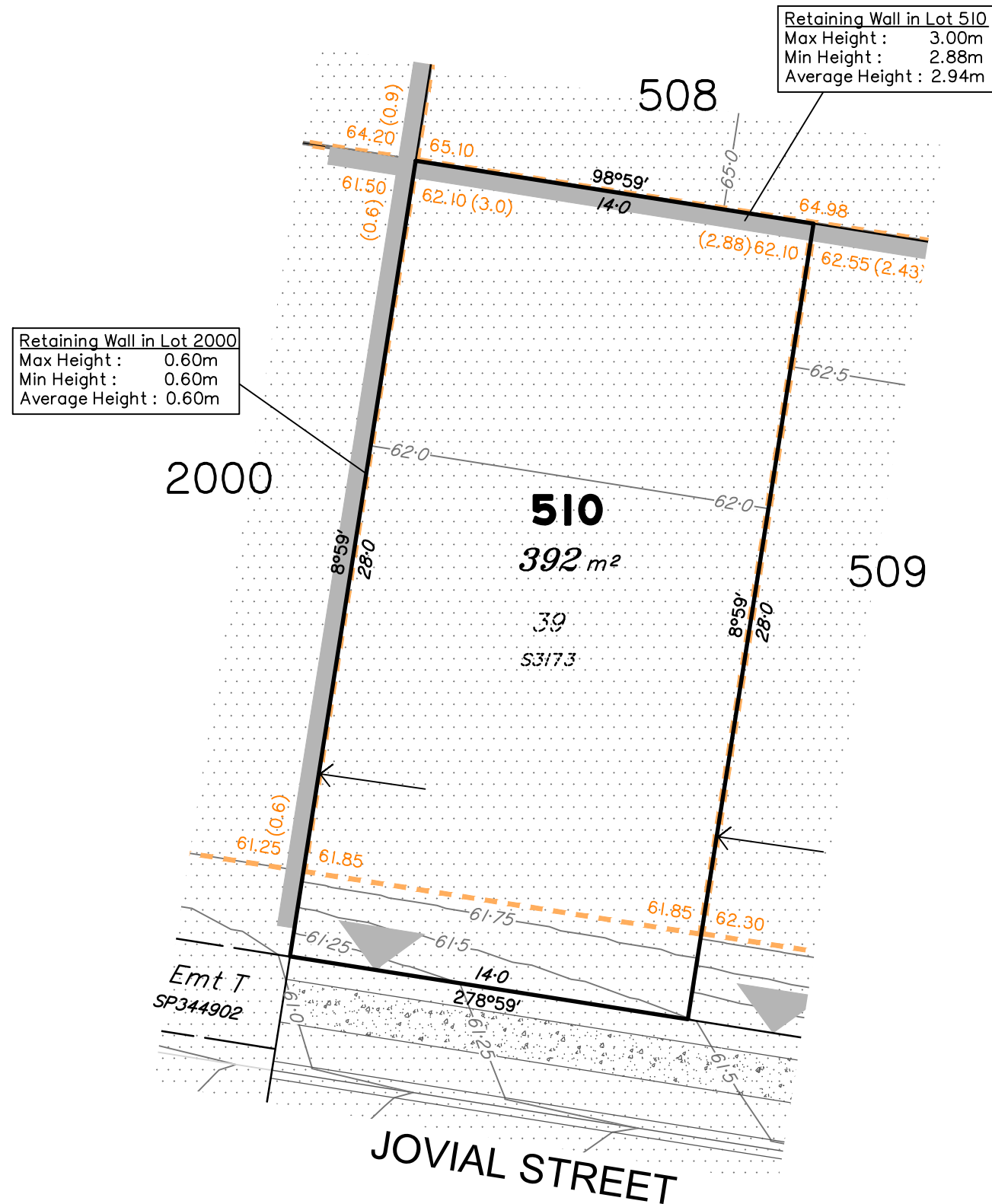
Scale @A3 1: 200

Dwg No. 9780 S 68 DP A_509

Issues	No.	by	Date	Chkd	Description
	A	MS	29/10/24	PS	Original Issue



STAGE 16



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall
(Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 510 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

No.	by	Date	Chkd	Description
A	MS	29/10/24	PS	Original Issue

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RIPLEY

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havill
group

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Disclosure Plan for Proposed Lot 510 (Restricted) on SP351246

Described as part of Lot 2 (Restricted) on RP196154
Existing Title Reference: 16944009, 16944010 & 16944011

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 68 DP A_510