

STAGE 16

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351246) and engineering plans provided on the 14/10/24 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

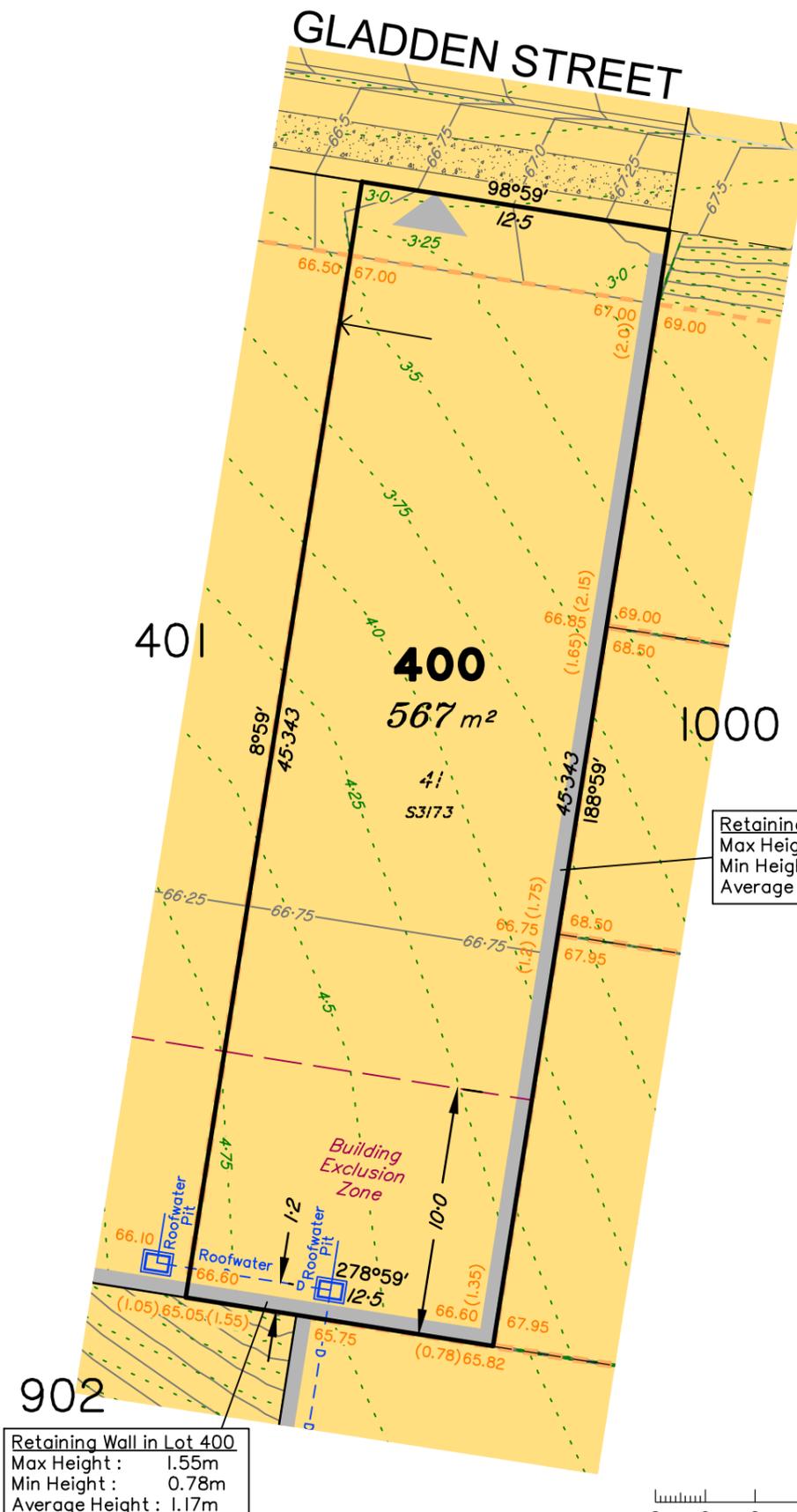
Lot 400 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

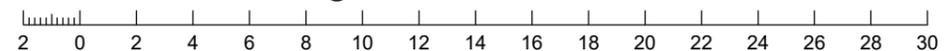
As per the approved plan of development, this lot is subject to a 10m wide building exclusion zone from the rear boundary. See the approved plan of development for further details.



Retaining Wall in Lot 400
 Max Height : 2.15m
 Min Height : 1.20m
 Average Height : 1.68m

Retaining Wall in Lot 400
 Max Height : 1.55m
 Min Height : 0.78m
 Average Height : 1.17m

SCALE @A3 1:250 - LENGTHS ARE IN METRES



No.	by	Date	Chkd	Description
A	MS	29/10/24	PS	Original Issue



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 phone 1300 123 SHG web www.saundershavill.com

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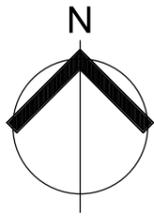
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Disclosure Plan for Proposed Lot 400 (Restricted) on SP351246

Described as part of Lot 1000 (Restricted) on SP344901
 Existing Title Reference: 51358403

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 9780 S 68 DP A_400



STAGE 16

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 401 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

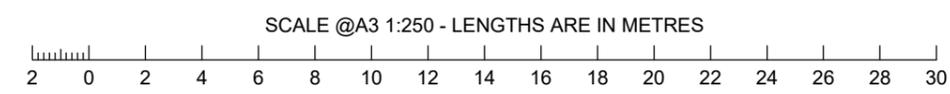
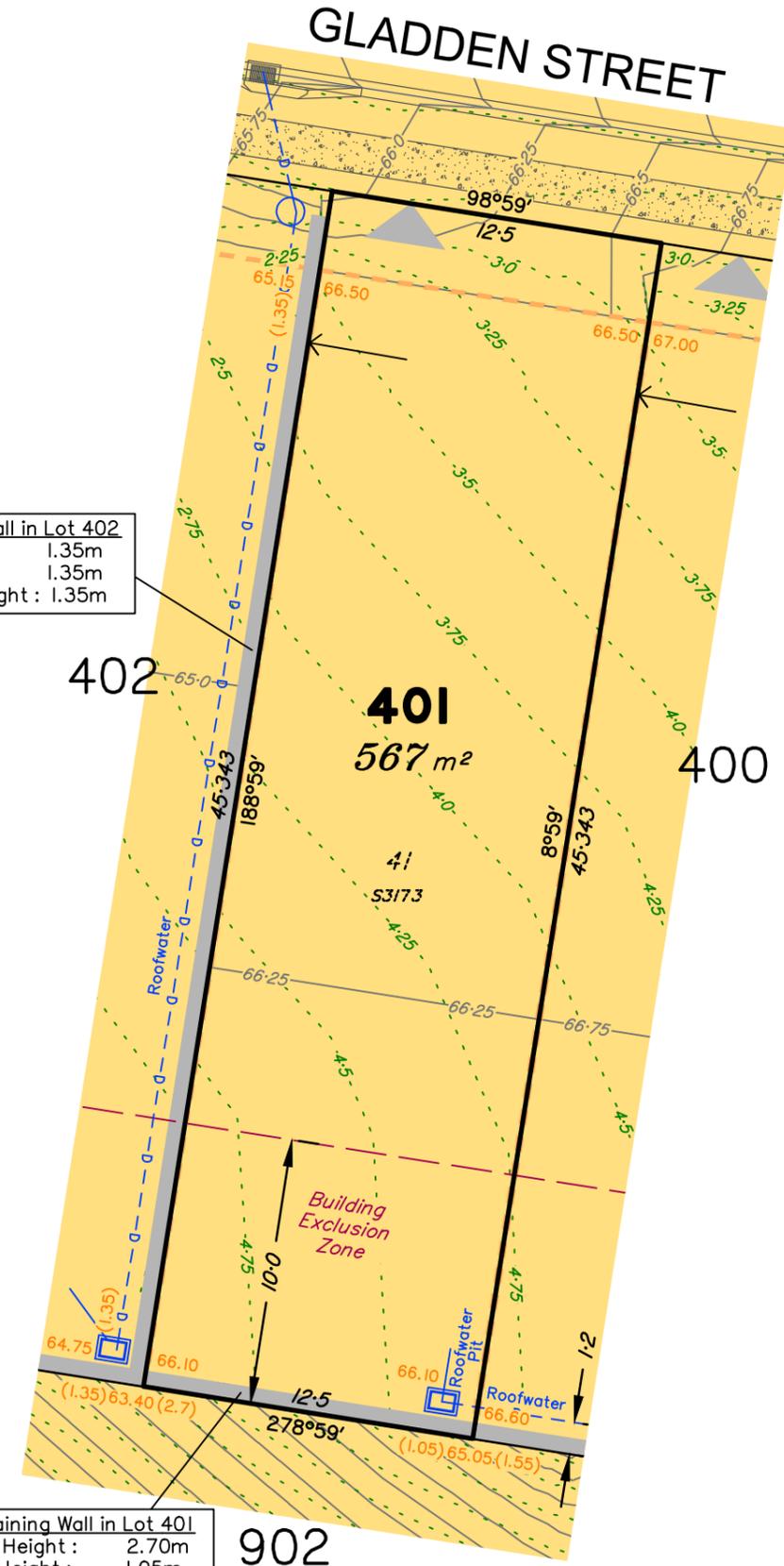
Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

As per the approved plan of development, this lot is subject to a 10m wide building exclusion zone from the rear boundary. See the approved plan of development for further details.

Retaining Wall in Lot 402
 Max Height : 1.35m
 Min Height : 1.35m
 Average Height : 1.35m

Retaining Wall in Lot 401
 Max Height : 2.70m
 Min Height : 1.05m
 Average Height : 1.88m



No.	by	Date	Chkd	Description
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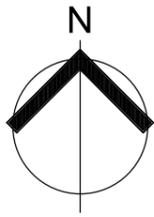


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Disclosure Plan for Proposed Lot 401 (Restricted) on SP351246
 Described as part of Lot 1000 (Restricted) on SP344901
 Existing Title Reference: 51358403
 Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 9780 S 68 DP A_401

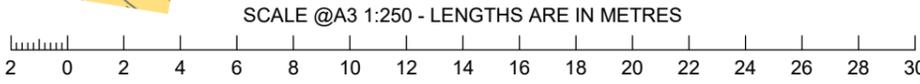


Retaining Wall in Lot 402
 Max Height : 2.95m
 Min Height : 2.82m
 Average Height : 2.89m

Retaining Wall in Lot 402
 Max Height : 2.93m
 Min Height : 2.82m
 Average Height : 2.88m

Retaining Wall in Lot 402
 Max Height : 2.95m
 Min Height : 2.93m
 Average Height : 2.94m

Retaining Wall in Lot 402
 Max Height : 2.95m
 Min Height : 1.35m
 Average Height : 2.15m



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- Earthworks Pad Extents
- ^ Top of Batter
- ← Built to Boundary Location
- Future Development Lot Boundary
- ▲ Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

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The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 402 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

As per the approved plan of development, this lot is subject to a 10m wide building exclusion zone from the rear and western boundary. See the approved plan of development for further details.

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A	MS	29/10/24	PS	Original Issue



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Disclosure Plan for Proposed Lot 402 (Restricted) on SP351246

Described as part of Lot 1000 (Restricted) on SP344901
 Existing Title Reference: 51358403

Locality of Ripley (Ipswich City Council)

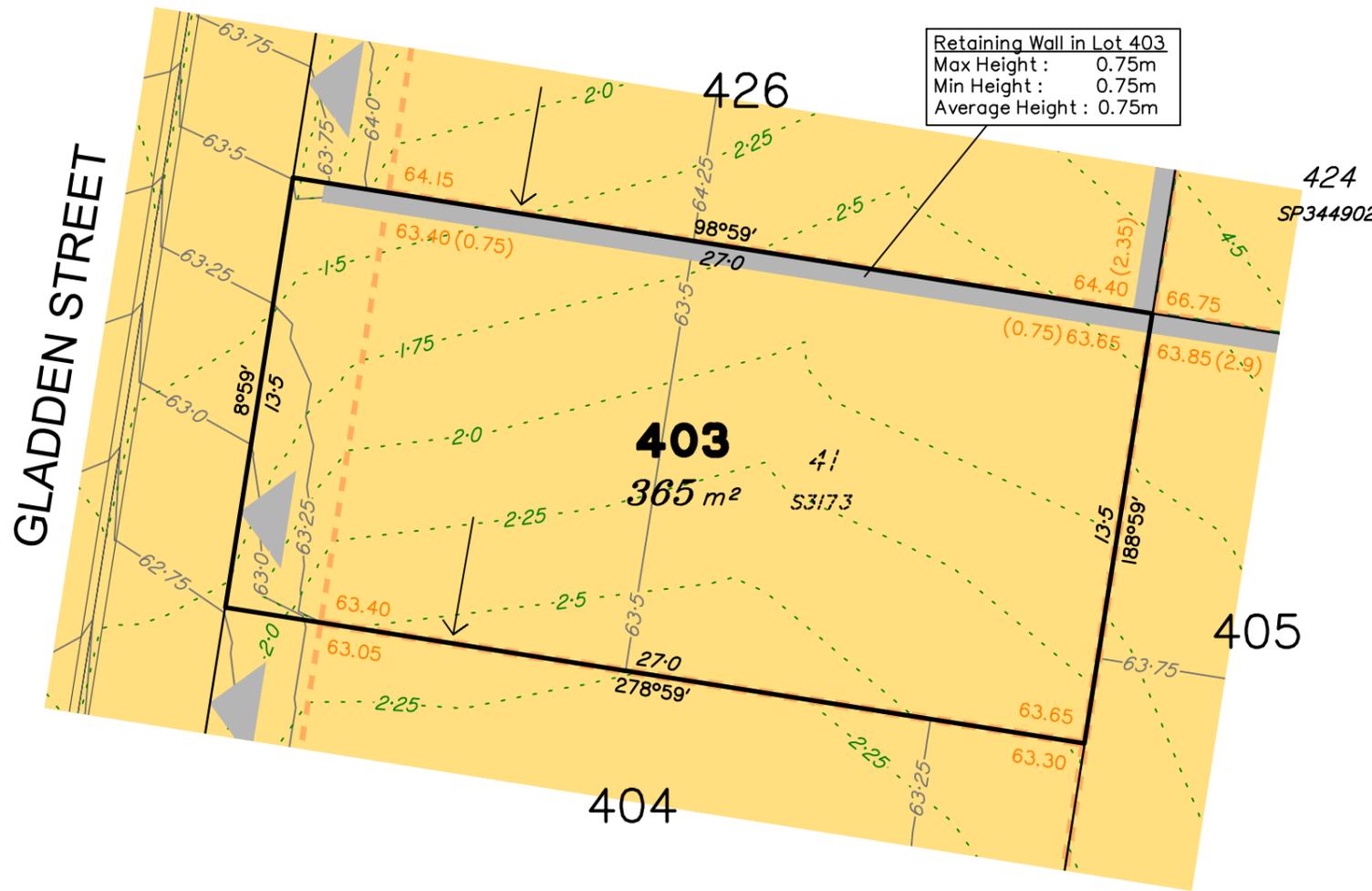
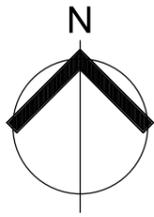
Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

Scale @A3 1: 250

Dwg No. 9780 S 68 DP A_402



STAGE 16



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

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The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 403 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

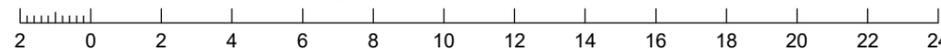
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

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SCALE @A3 1:200 - LENGTHS ARE IN METRES



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Disclosure Plan for Proposed Lot 403 (Restricted) on SP351246

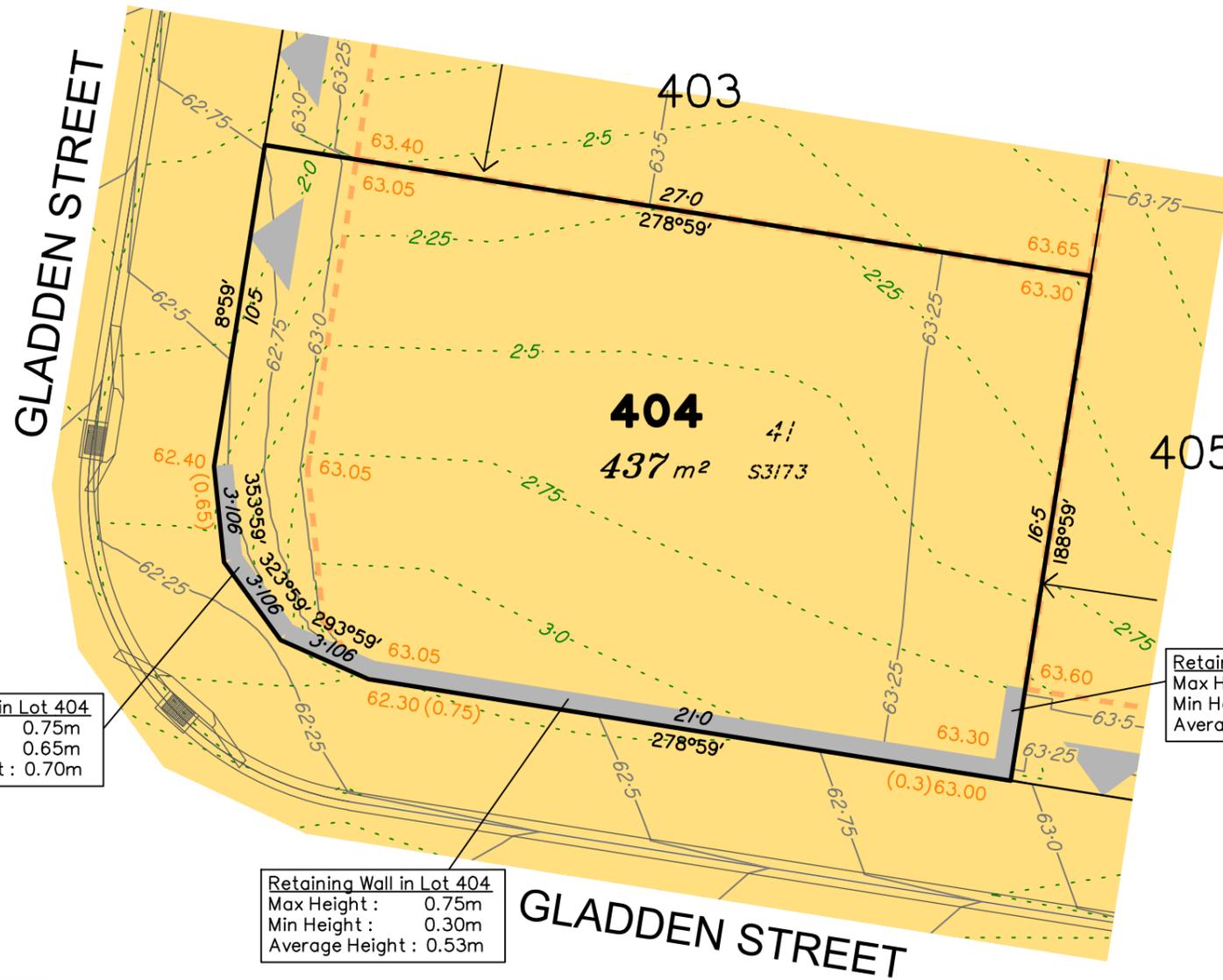
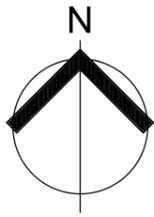
Described as part of Lot 1000 (Restricted) on SP344901
 Existing Title Reference: 51358403

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 9780 S 68 DP A_403



STAGE 16



Retaining Wall in Lot 404
 Max Height : 0.75m
 Min Height : 0.65m
 Average Height : 0.70m

Retaining Wall in Lot 404
 Max Height : 0.75m
 Min Height : 0.30m
 Average Height : 0.53m

Retaining Wall in Lot 404
 Max Height : 0.30m
 Min Height : 0.00m
 Average Height : 0.15m

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

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NOTES

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The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 404 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

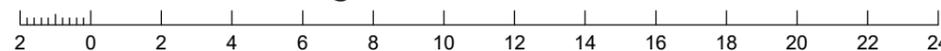
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Disclosure Plan for Proposed Lot 404 (Restricted) on SP351246

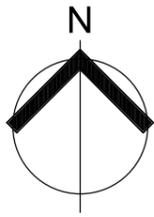
Described as part of Lot 1000 (Restricted) on SP344901
 Existing Title Reference: 51358403

Locality of Ripley (Ipswich City Council)

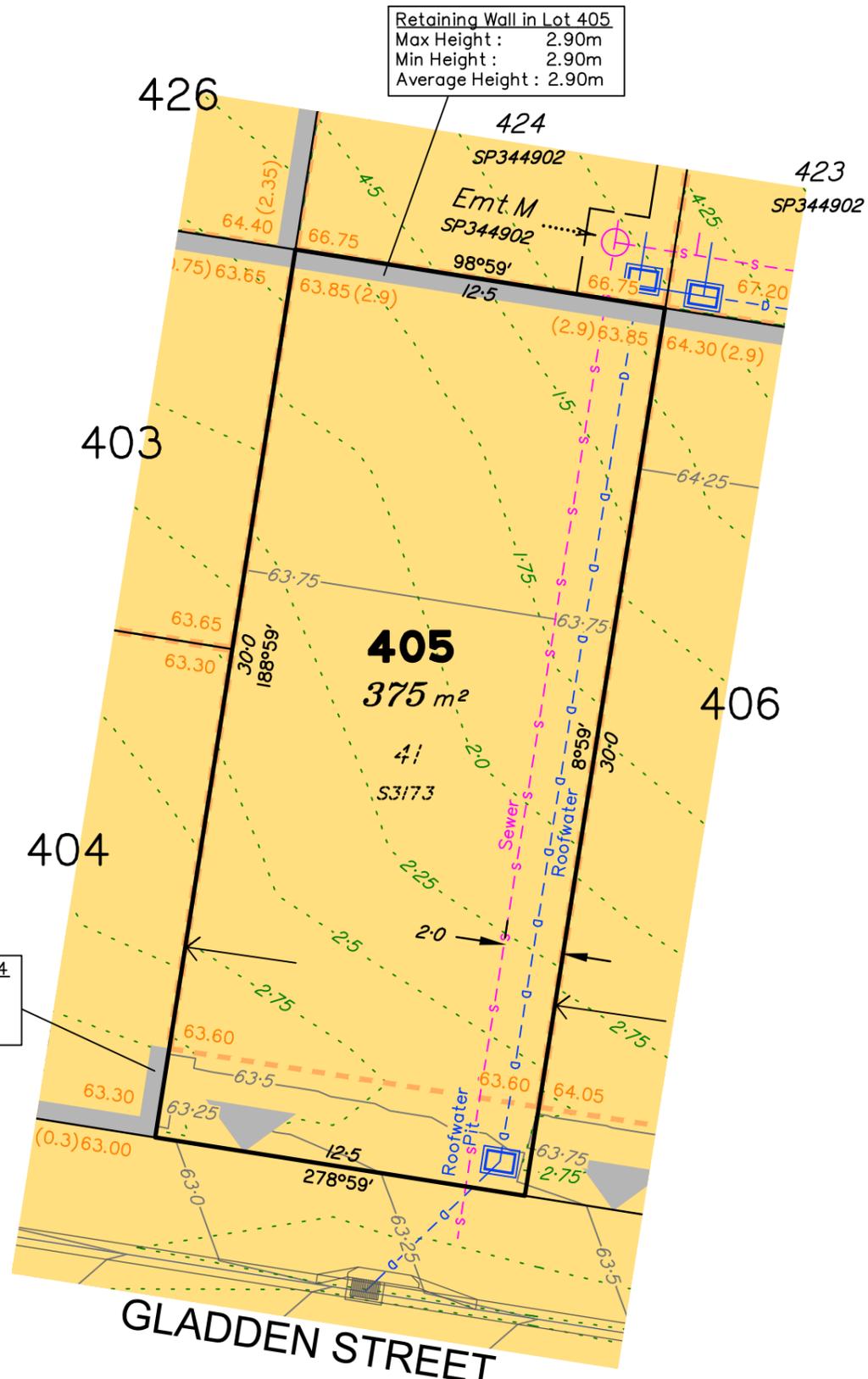
Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 68 DP A_404



STAGE 16



Retaining Wall in Lot 404
 Max Height : 0.30m
 Min Height : 0.00m
 Average Height : 0.15m

Retaining Wall in Lot 405
 Max Height : 2.90m
 Min Height : 2.90m
 Average Height : 2.90m

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

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The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 405 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

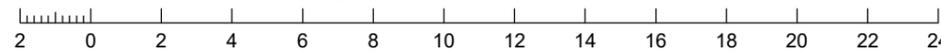
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

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Disclosure Plan for Proposed Lot 405 (Restricted) on SP351246

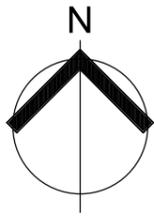
Described as part of Lot 1000 (Restricted) on SP344901
 Existing Title Reference: 51358403

Locality of Ripley (Ipswich City Council)

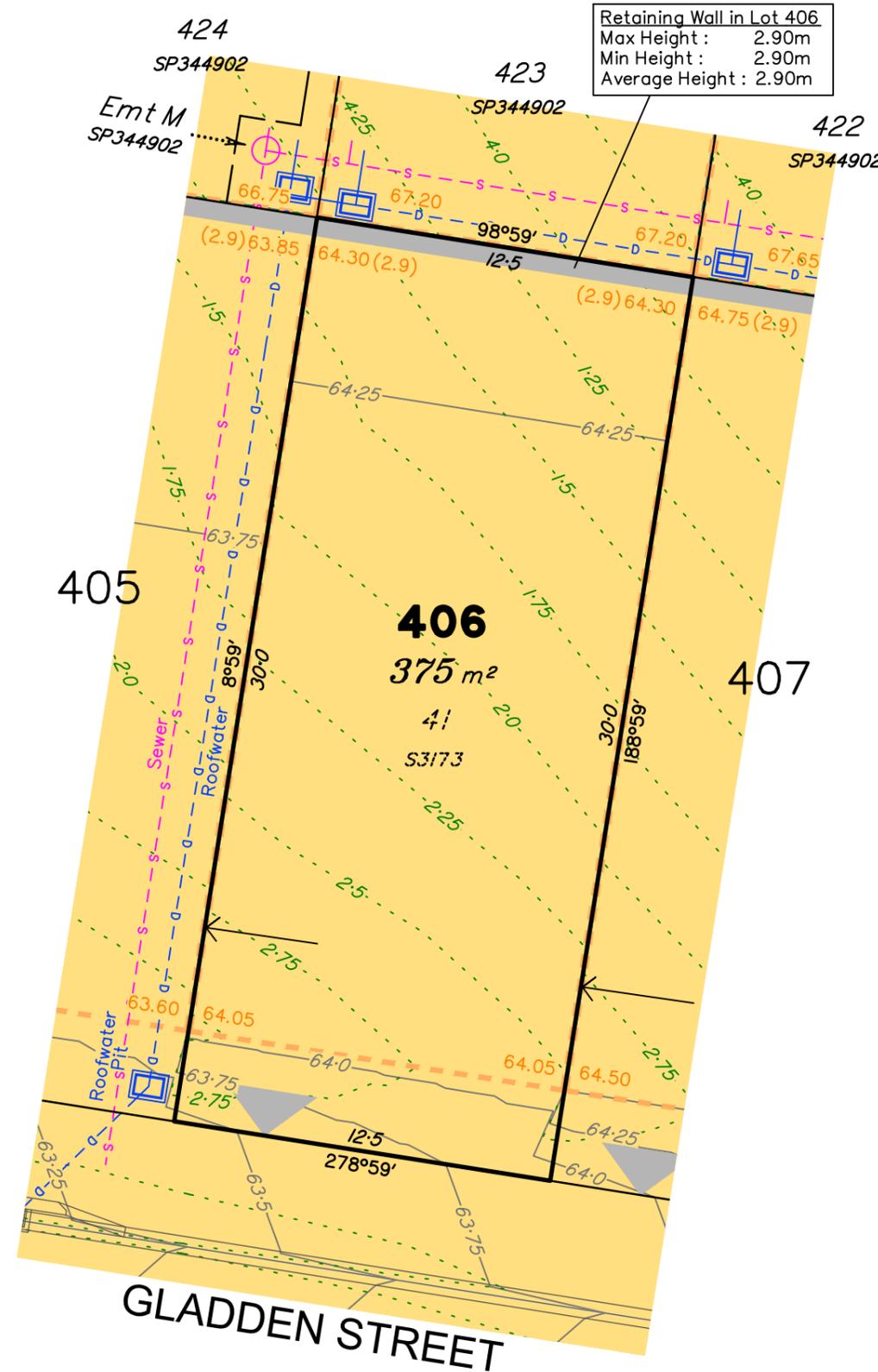
Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 68 DP A_405



STAGE 16



Retaining Wall in Lot 406
 Max Height : 2.90m
 Min Height : 2.90m
 Average Height : 2.90m

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- ^ Top of Batter
- ← Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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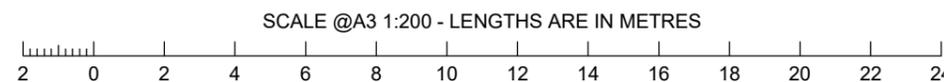
The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 406 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

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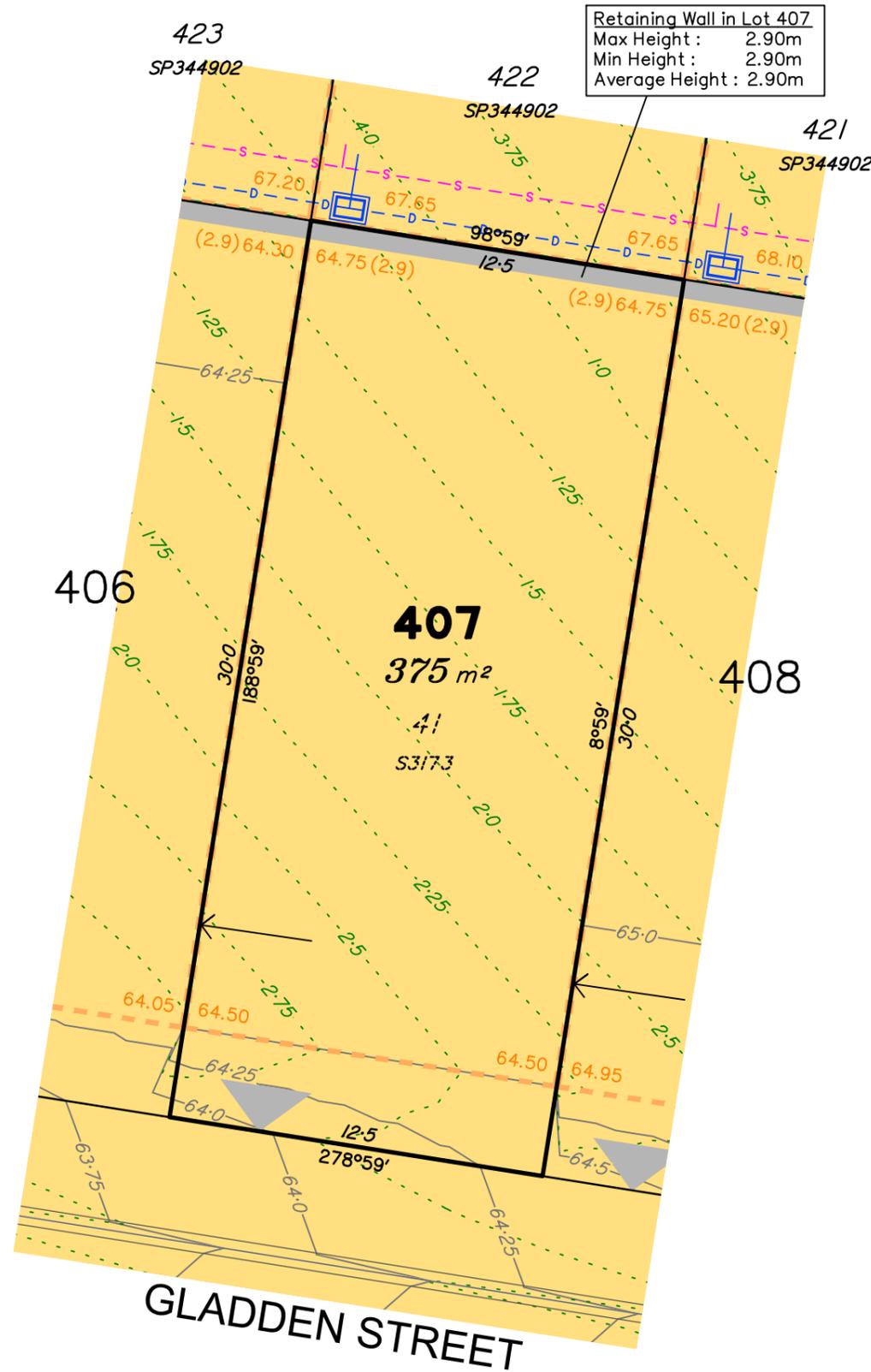
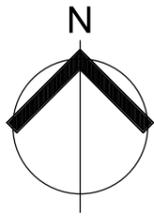
No.	by	Date	Chkd	Description
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Disclosure Plan for Proposed Lot 406 (Restricted) on SP351246
 Described as part of Lot 1000 (Restricted) on SP344901
 Existing Title Reference: 51358403
 Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 9780 S 68 DP A_406



Retaining Wall in Lot 407
 Max Height : 2.90m
 Min Height : 2.90m
 Average Height : 2.90m

STAGE 16

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- XX.XX Finished Design Surface Level
- Earthworks Pad Extents
- ^ Top of Batter
- ← Built to Boundary Location
- Future Development Lot Boundary
- ▲ Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

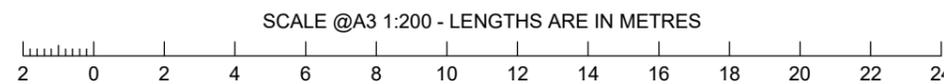
The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 407 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.



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Disclosure Plan for Proposed Lot 407 (Restricted) on SP351246

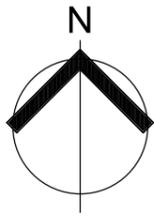
Described as part of Lot 1000 (Restricted) on SP344901
 Existing Title Reference: 51358403

Locality of Ripley (Ipswich City Council)

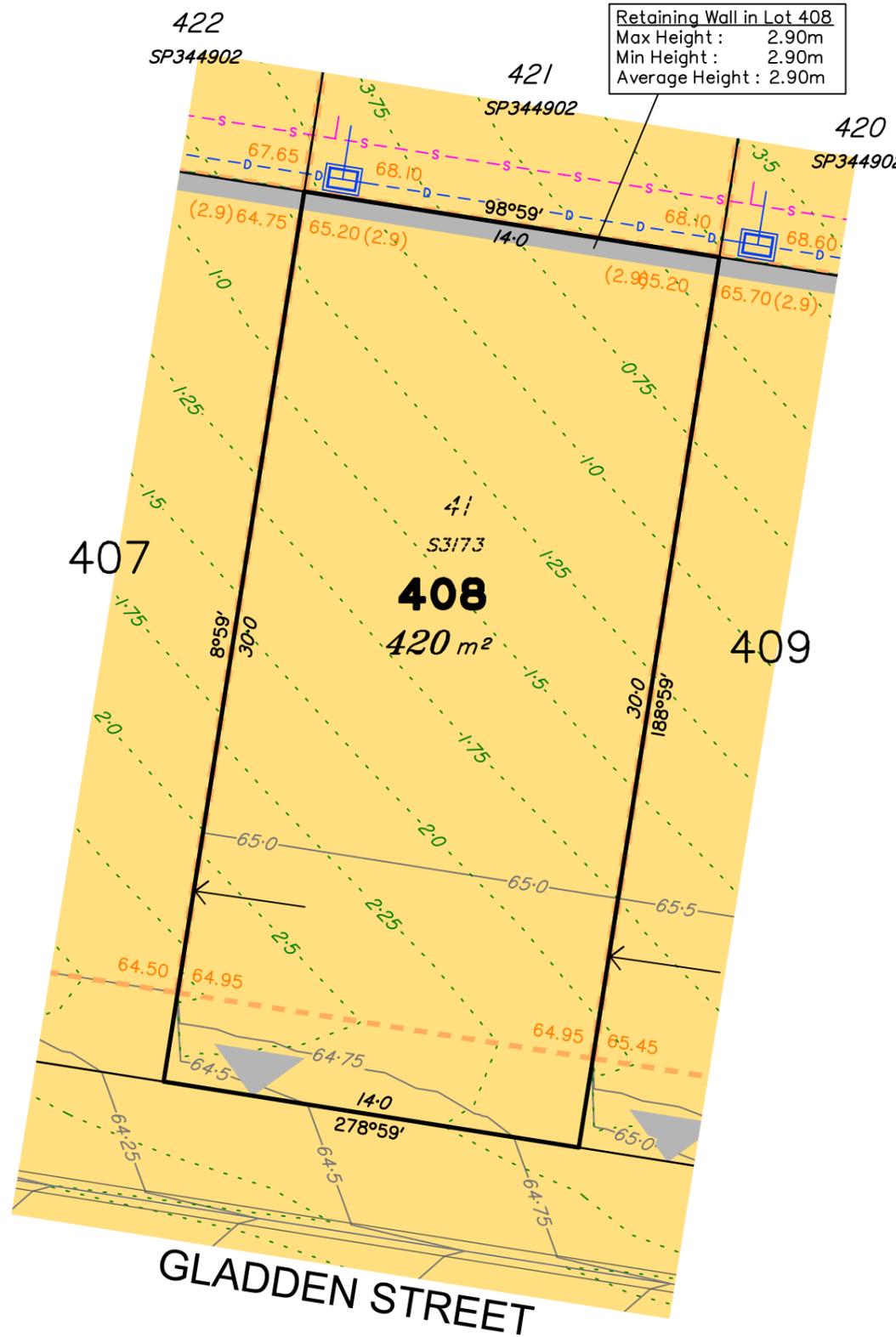
Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 68 DP A_407



STAGE 16



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- ^ Top of Batter
- ← Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

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NOTES

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The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 408 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

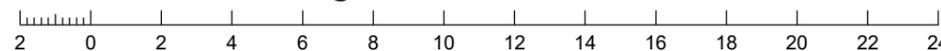
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SCALE @A3 1:200 - LENGTHS ARE IN METRES



No.	by	Date	Chkd	Description
A	MS	29/10/24	PS	Original Issue



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 Brisbane Springfield
 head office 9 Thompson St Bowen Hills Q 4006
 phone 1300 123 SHG web www.saundershavill.com

■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

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Disclosure Plan for Proposed Lot 408 (Restricted) on SP351246

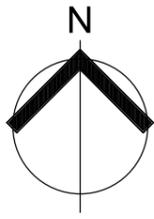
Described as part of Lot 1000 (Restricted) on SP344901
 Existing Title Reference: 51358403

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 68 DP A_408



STAGE 16



Retaining Wall in Lot 409
 Max Height : 2.90m
 Min Height : 2.90m
 Average Height : 2.90m

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- ^ Top of Batter
- ← Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351246) and engineering plans provided on the 14/10/24 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

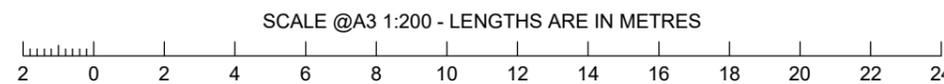
The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 409 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

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No.	by	Date	Chkd	Description
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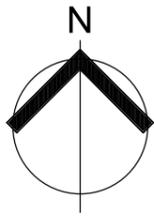
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Disclosure Plan for Proposed Lot 409 (Restricted) on SP351246

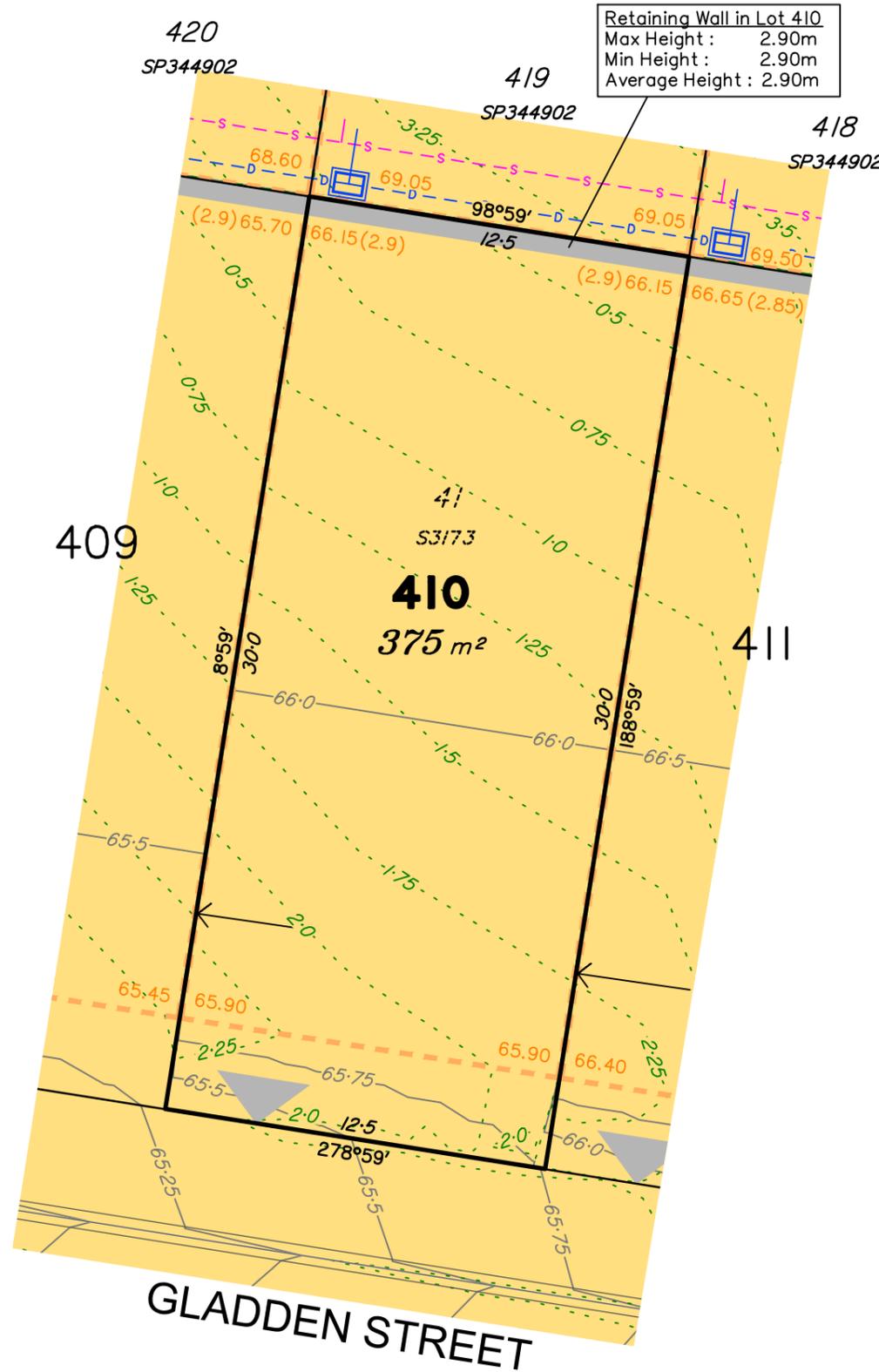
Described as part of Lot 1000 (Restricted) on SP344901
 Existing Title Reference: 51358403

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 9780 S 68 DP A_409



STAGE 16



Retaining Wall in Lot 410
 Max Height : 2.90m
 Min Height : 2.90m
 Average Height : 2.90m

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- XX.XX Finished Design Surface Level
- Earthworks Pad Extents
- ^ Top of Batter
- ← Built to Boundary Location
- Future Development Lot Boundary
- ▲ Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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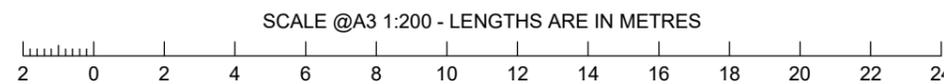
The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 410 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.



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Disclosure Plan for Proposed Lot 410 (Restricted) on SP351246

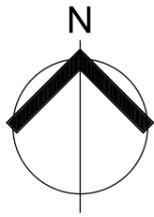
Described as part of Lot 1000 (Restricted) on SP344901
 Existing Title Reference: 51358403

Locality of Ripley (Ipswich City Council)

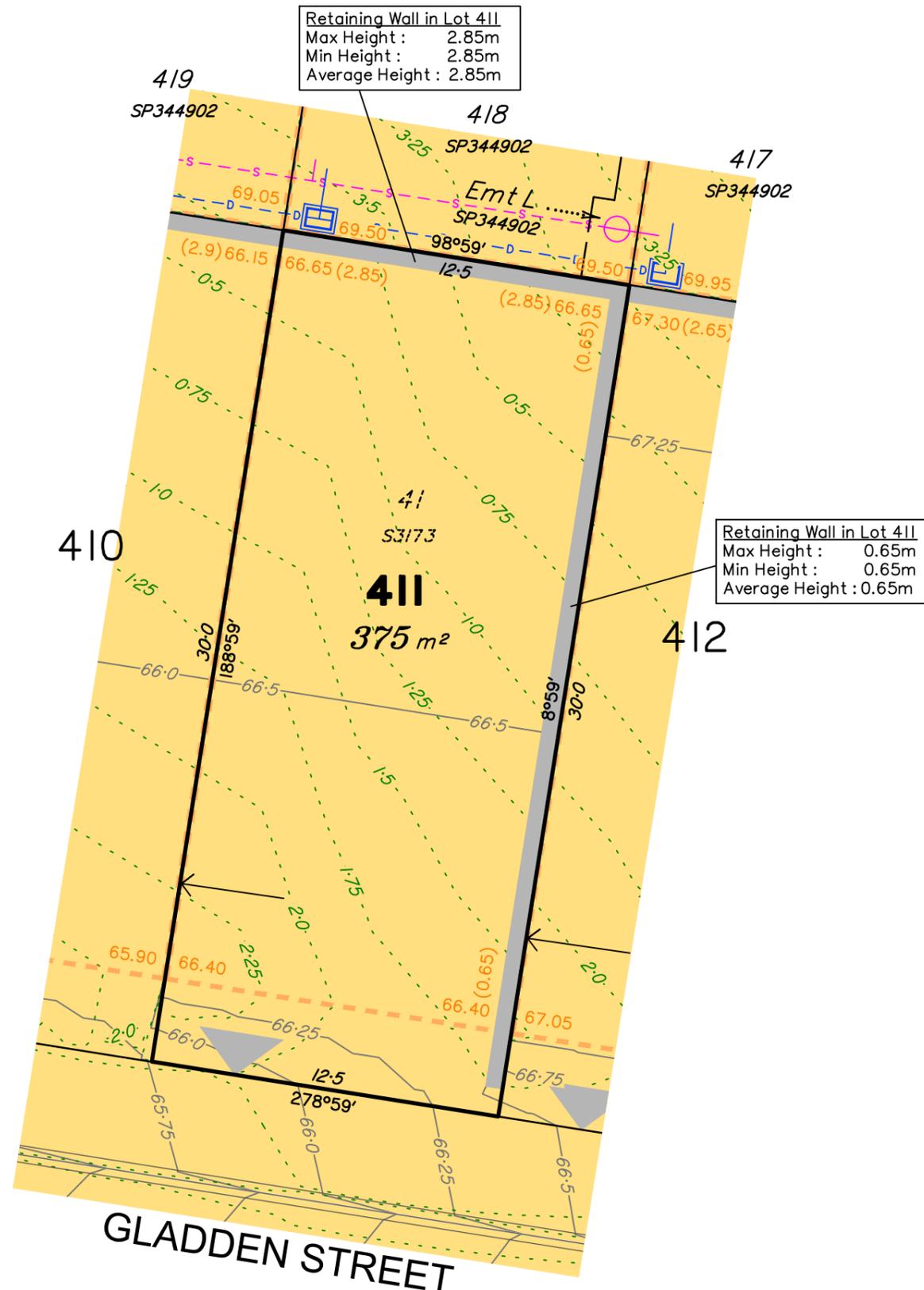
Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 68 DP A_410



STAGE 16



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- (1.5) Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The relevant authorities have not yet granted operational works approval for the proposed lot.

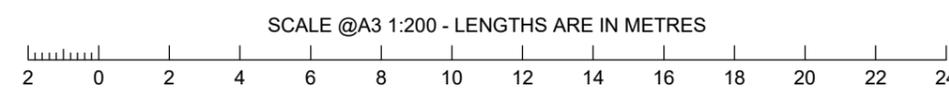
Lot 411 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

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No.	by	Date	Chkd	Description
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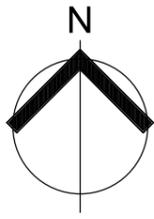
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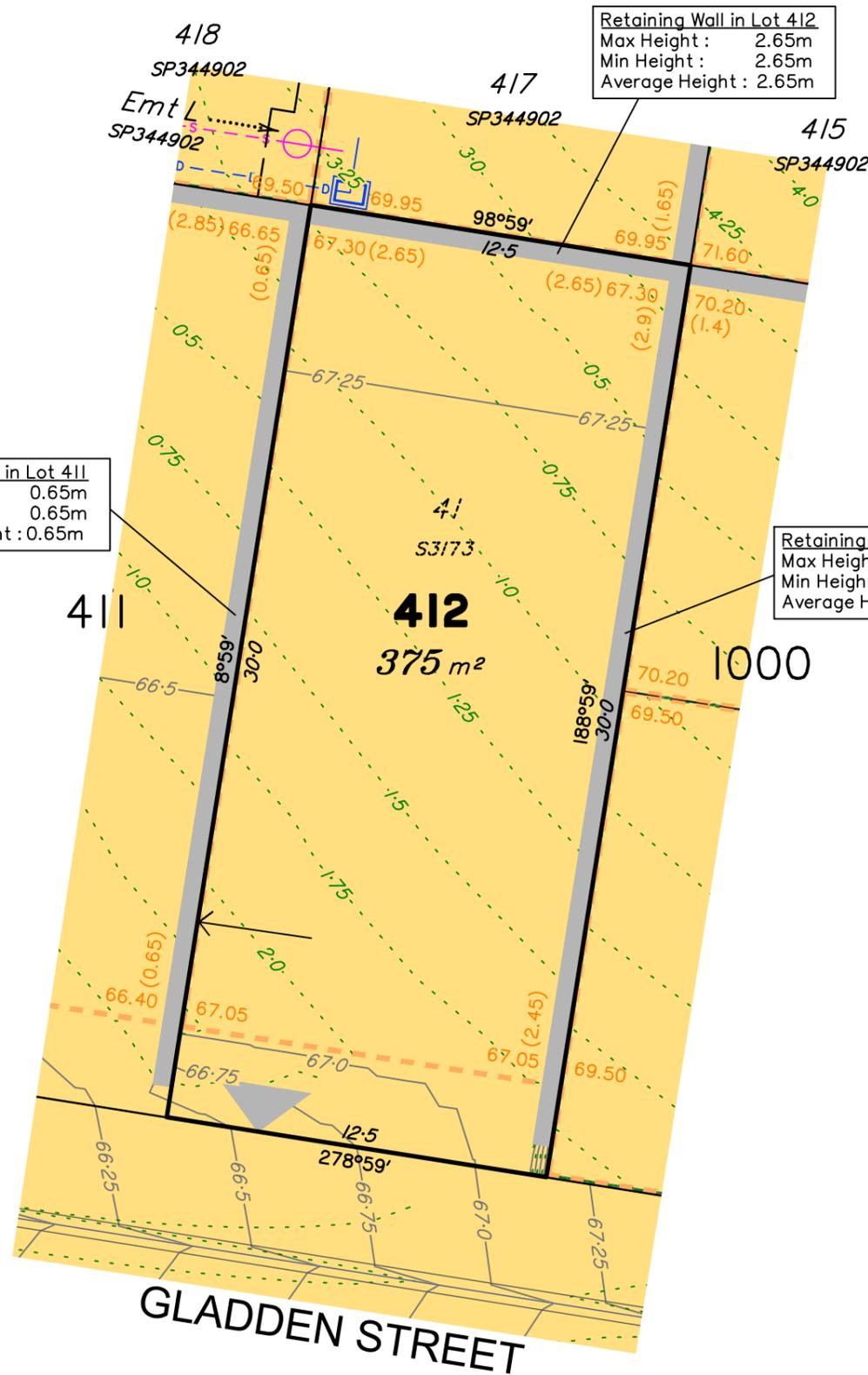
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Disclosure Plan for Proposed Lot 411 (Restricted) on SP351246
 Described as part of Lot 1000 (Restricted) on SP344901
 Existing Title Reference: 51358403
 Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 9780 S 68 DP A_411



STAGE 16



Retaining Wall in Lot 411
 Max Height : 0.65m
 Min Height : 0.65m
 Average Height : 0.65m

Retaining Wall in Lot 412
 Max Height : 2.65m
 Min Height : 2.65m
 Average Height : 2.65m

Retaining Wall in Lot 412
 Max Height : 2.90m
 Min Height : 2.45m
 Average Height : 2.68m

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351246) and engineering plans provided on the 14/10/24 by Colliers Engineering & Design.

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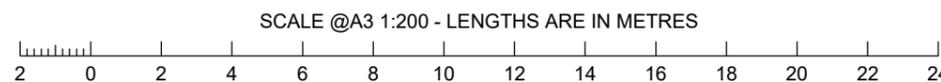
The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 412 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

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Disclosure Plan for Proposed Lot 412 (Restricted) on SP351246

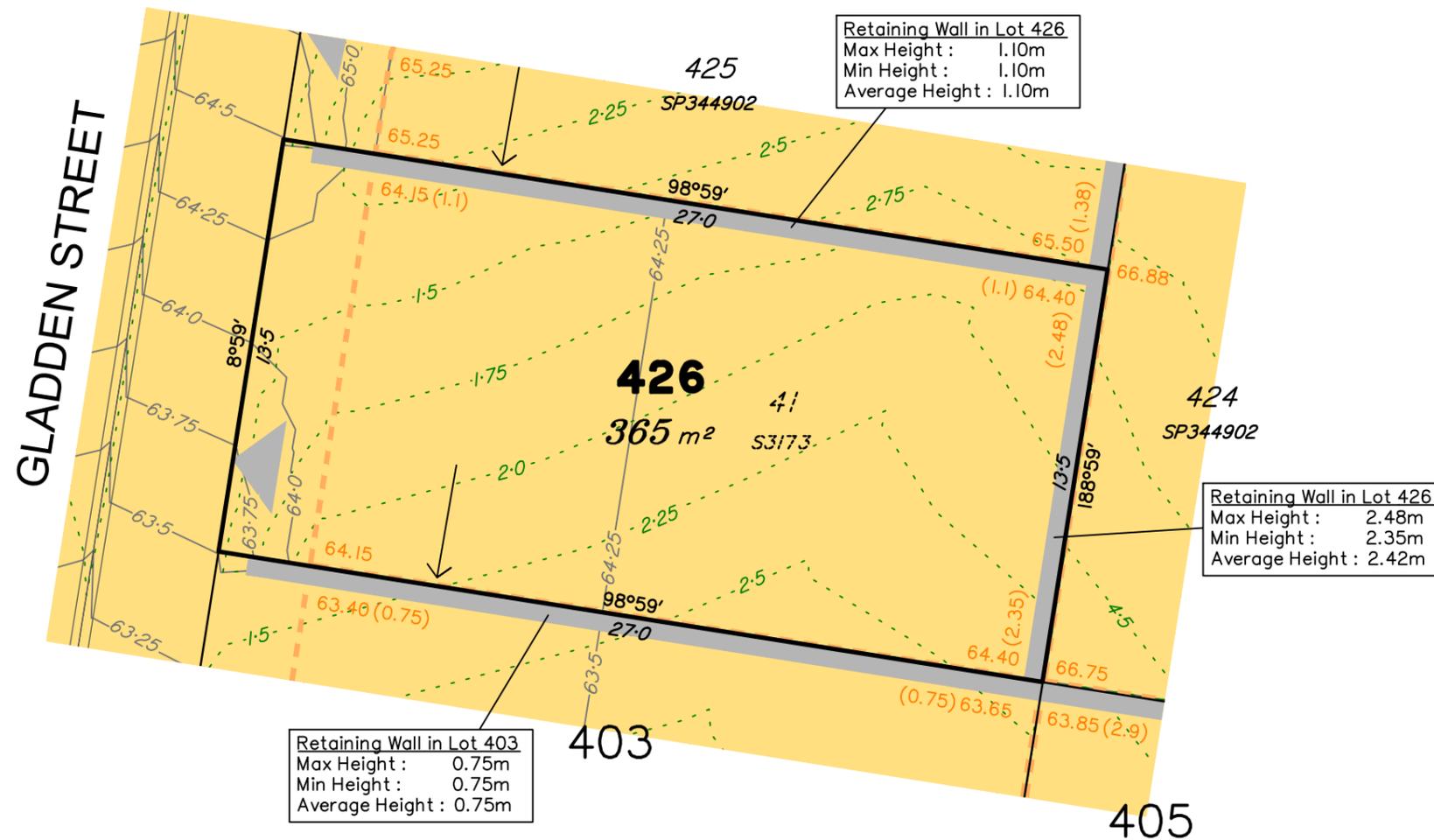
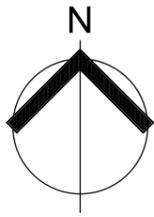
Described as part of Lot 1000 (Restricted) on SP344901
 Existing Title Reference: 51358403

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 9780 S 68 DP A_412



STAGE 16



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

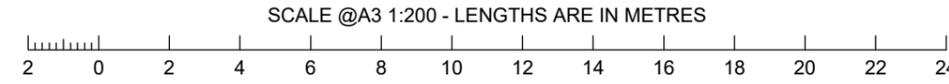
The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 426 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

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No.	by	Date	Chkd	Description
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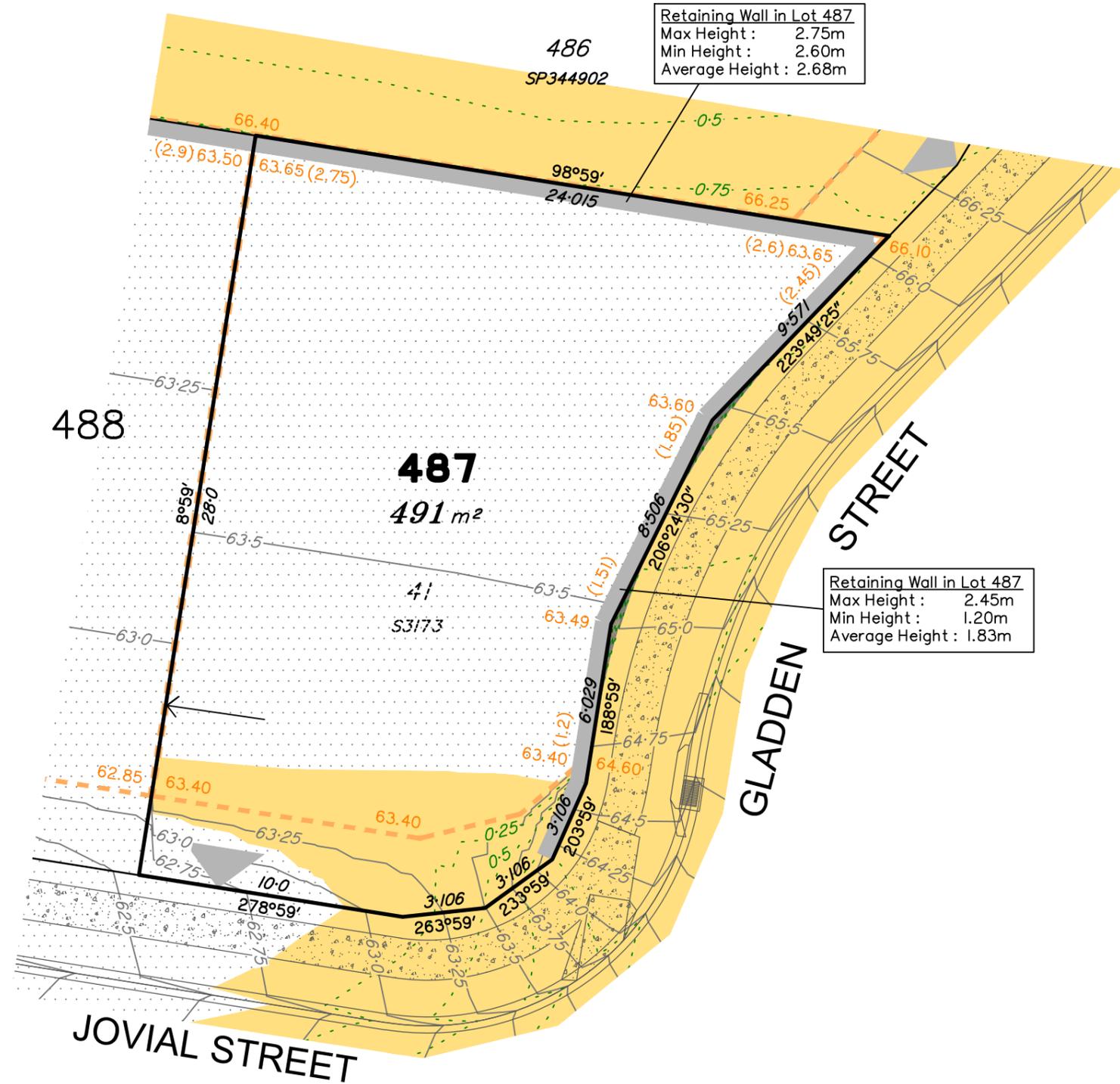
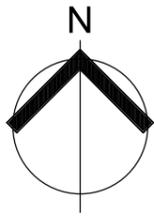
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Disclosure Plan for Proposed Lot 426 (Restricted) on SP351246
 Described as part of Lot 1000 (Restricted) on SP344901
 Existing Title Reference: 51358403
 Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 9780 S 68 DP A_426



STAGE 16



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351246) and engineering plans provided on the 14/10/24 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 487 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

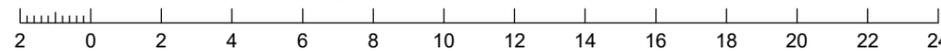
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SCALE @A3 1:200 - LENGTHS ARE IN METRES



No.	by	Date	Chkd	Description
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Disclosure Plan for Proposed Lot 487 (Restricted) on SP351246

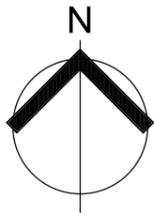
Described as part of Lot 1000 (Restricted) on SP344901
 Existing Title Reference: 51358403

Locality of Ripley (Ipswich City Council)

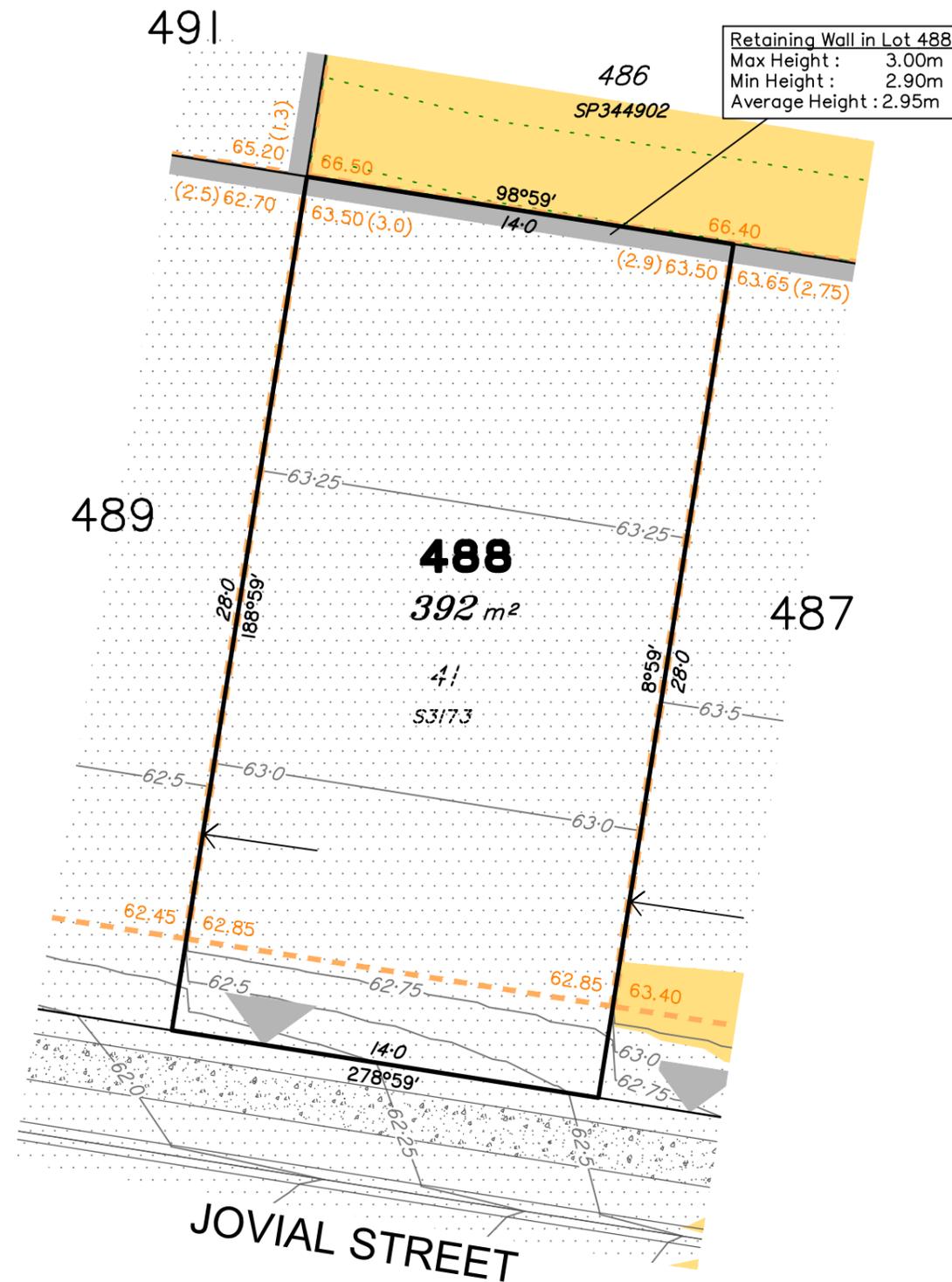
Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 68 DP A_487



STAGE 16



Retaining Wall in Lot 488
 Max Height : 3.00m
 Min Height : 2.90m
 Average Height : 2.95m

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- ^ Top of Batter
- ← Built to Boundary Location
- Future Development Lot Boundary
- ▲ Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351246) and engineering plans provided on the 14/10/24 by Colliers Engineering & Design.

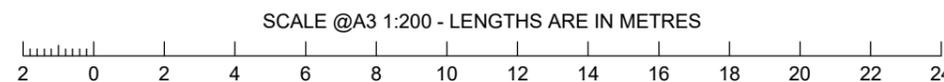
The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 488 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



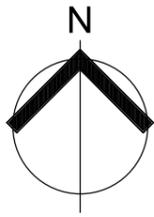
No.	by	Date	Chkd	Description
A	MS	29/10/24	PS	Original Issue

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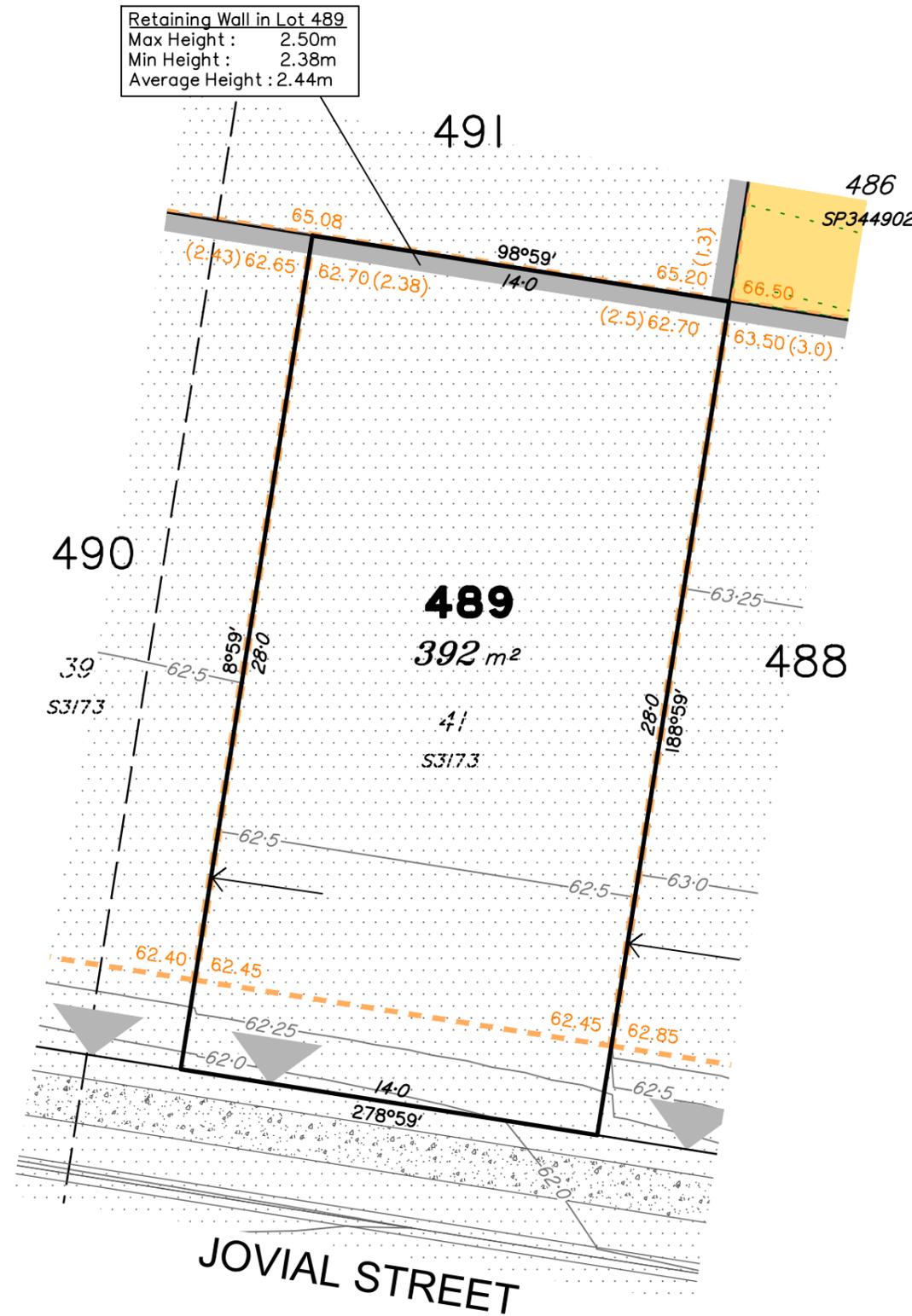
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Disclosure Plan for Proposed Lot 488 (Restricted) on SP351246
 Described as part of Lot 1000 (Restricted) on SP344901
 Existing Title Reference: 51358403
 Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 9780 S 68 DP A_488



STAGE 16



Retaining Wall in Lot 489
 Max Height : 2.50m
 Min Height : 2.38m
 Average Height : 2.44m

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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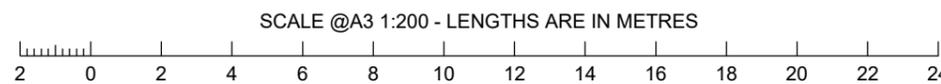
The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 489 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

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Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



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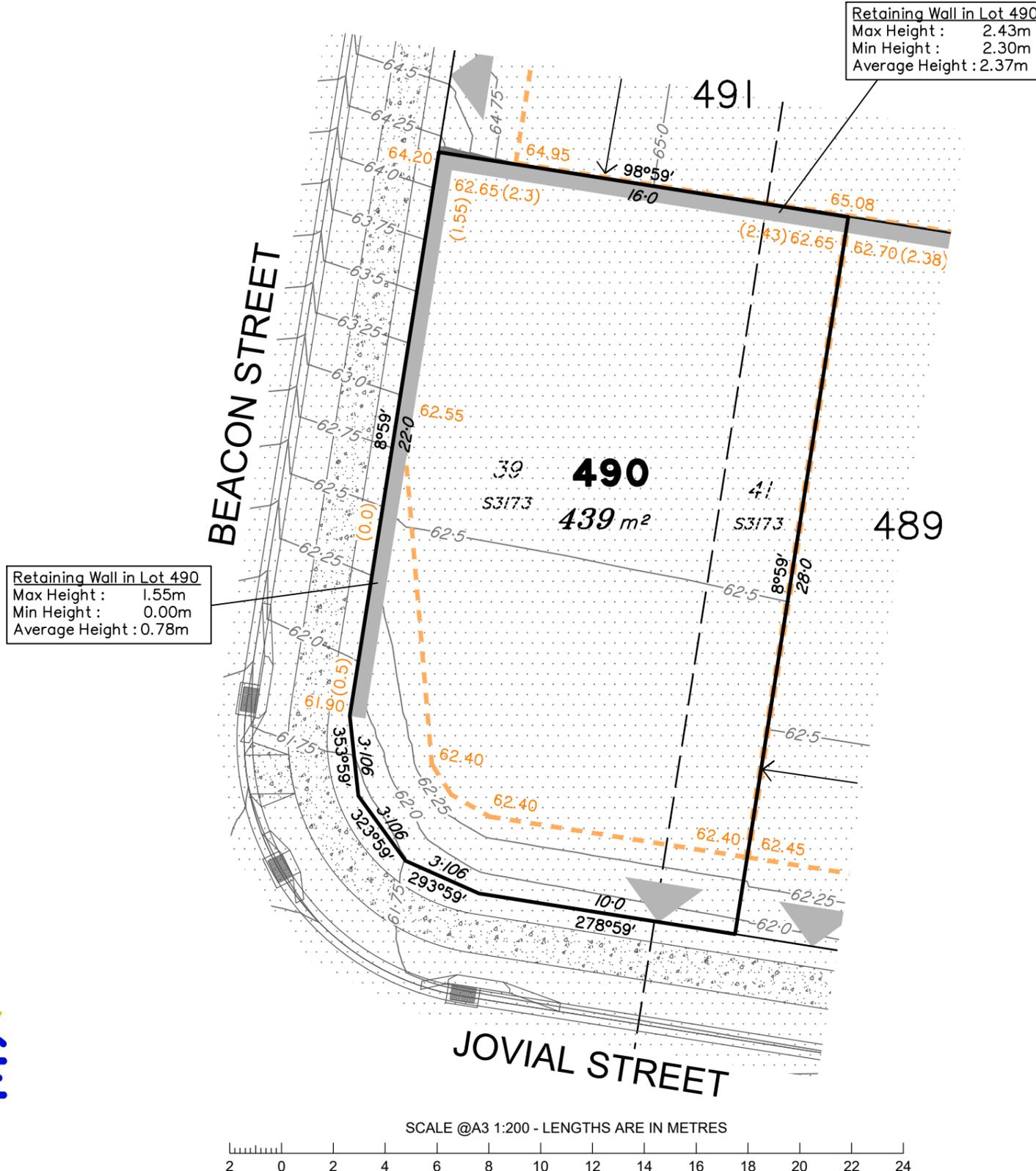
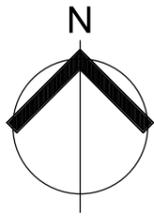
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Disclosure Plan for Proposed Lot 489 (Restricted) on SP351246
 Described as part of Lot 1000 (Restricted) on SP344901
 Existing Title Reference: 51358403
 Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 9780 S 68 DP A_489



STAGE 16



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- (1.5) Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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Disclosure Plan for Proposed Lot 490 (Restricted) on SP351246
 Described as part of Lot 1000 (Restricted) on SP344901 & Lot 2 (Restricted) on RP196154
 Existing Title Reference: 51358403, 16944009, 16944010 & 16944011

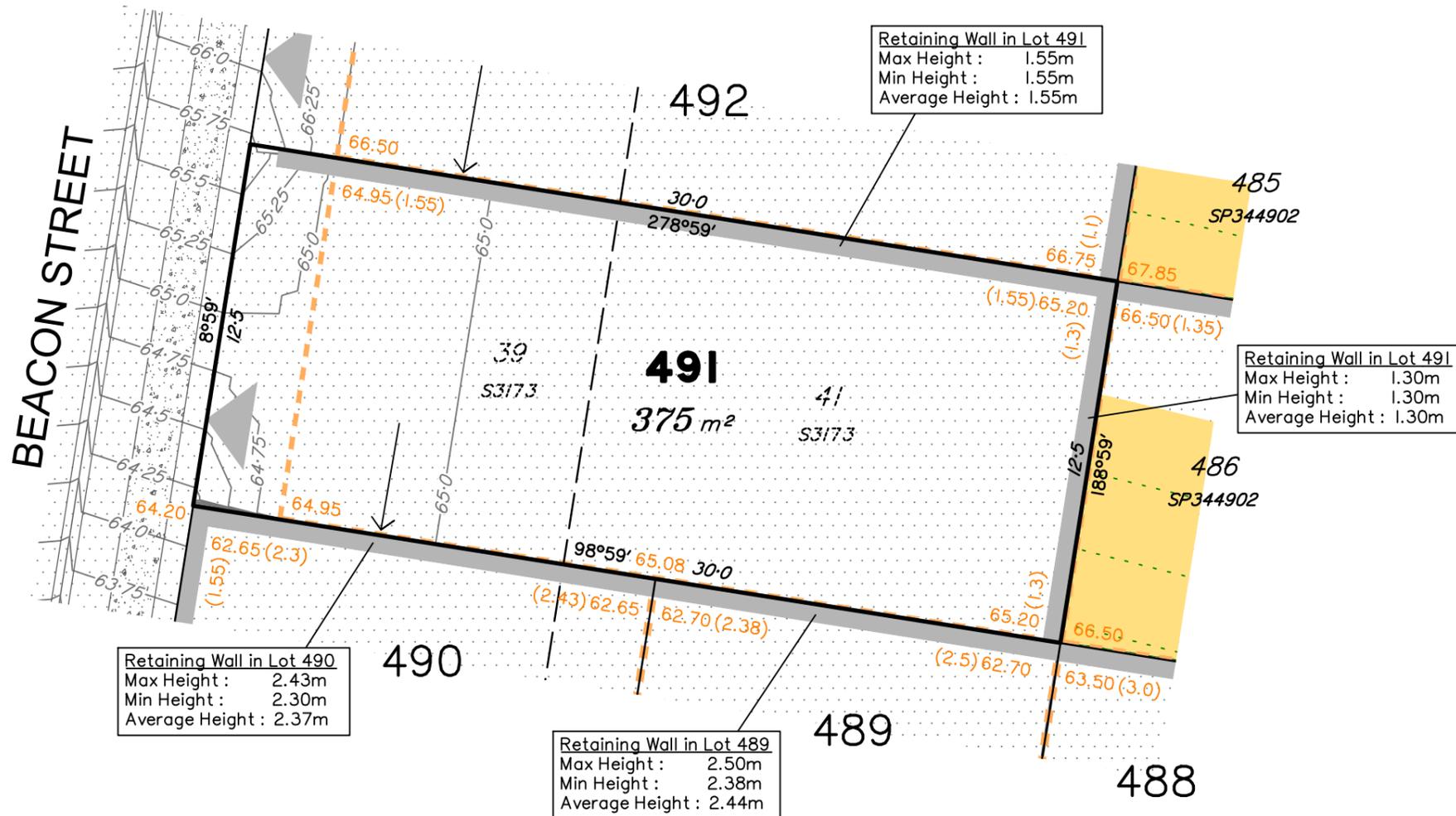
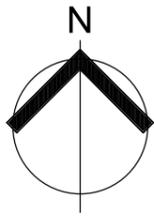
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 9780 S 68 DP A_490

No.	by	Date	Chkd	Description
A	MS	29/10/24	PS	Original Issue



STAGE 16



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351246) and engineering plans provided on the 14/10/24 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

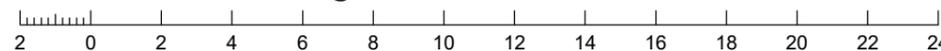
Lot 491 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



No.	by	Date	Chkd	Description
A	MS	29/10/24	PS	Original Issue



Saunders Havill Group Pty Ltd ABN 24 144 972 949
 Brisbane Springfield
 head office 9 Thompson St Bowen Hills Q 4006
 phone 1300 123 SHG web www.saundershavill.com

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Disclosure Plan for Proposed Lot 491 (Restricted) on SP351246

Described as part of Lot 1000 (Restricted) on SP344901 & Lot 2 (Restricted) on RP196154
 Existing Title Reference: 51358403, 16944009, 16944010 & 16944011

Locality of Ripley (Ipswich City Council)

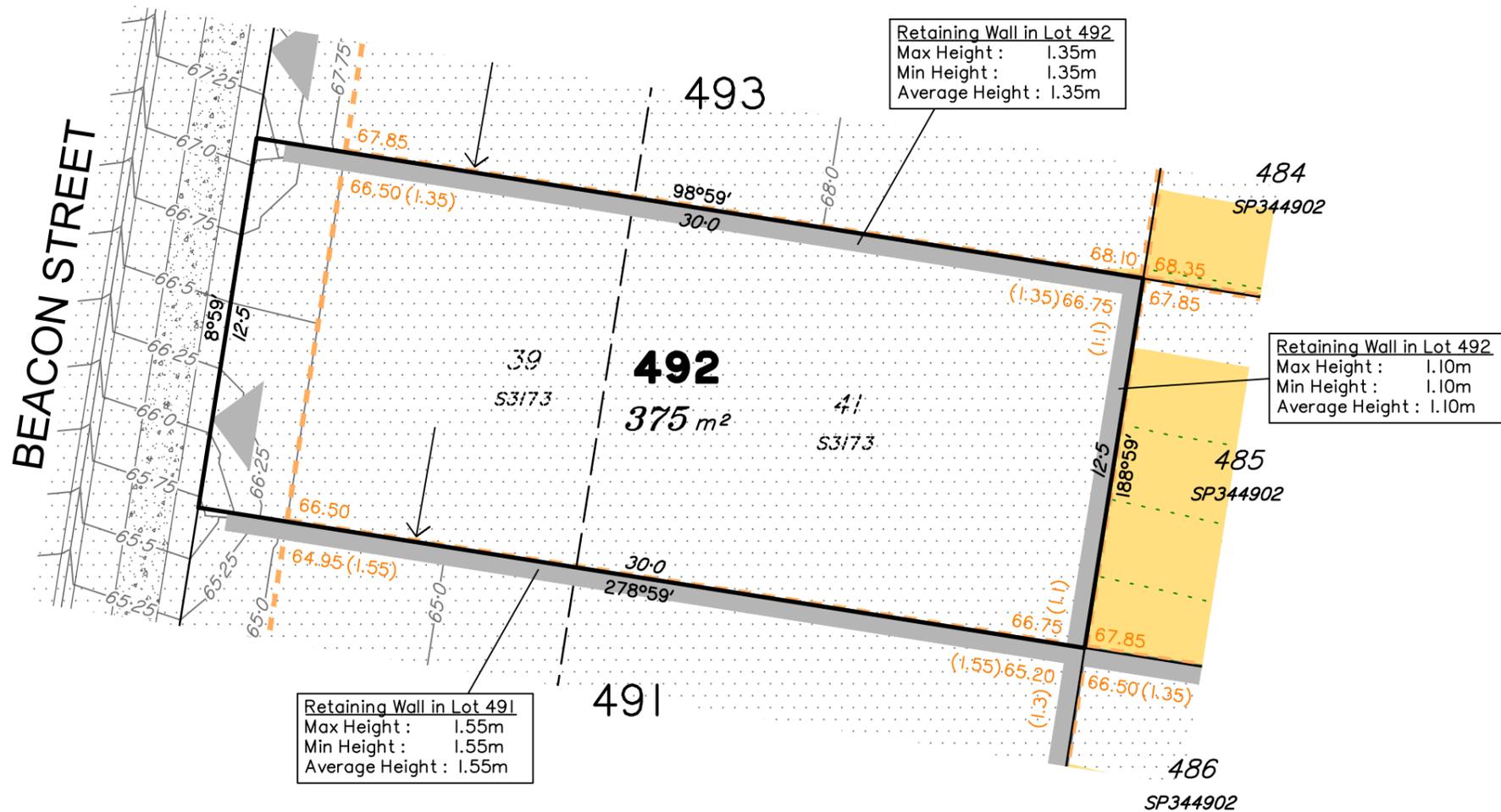
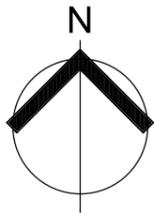
Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 68 DP A_491



STAGE 16



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- (1.5) Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351246) and engineering plans provided on the 14/10/24 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

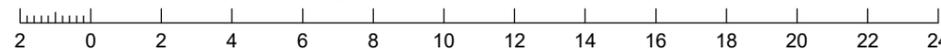
Lot 492 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



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Disclosure Plan for Proposed Lot 492 (Restricted) on SP351246

Described as part of Lot 1000 (Restricted) on SP344901 & Lot 2 (Restricted) on RP196154
 Existing Title Reference: 51358403, 16944009, 16944010 & 16944011

Locality of Ripley (Ipswich City Council)

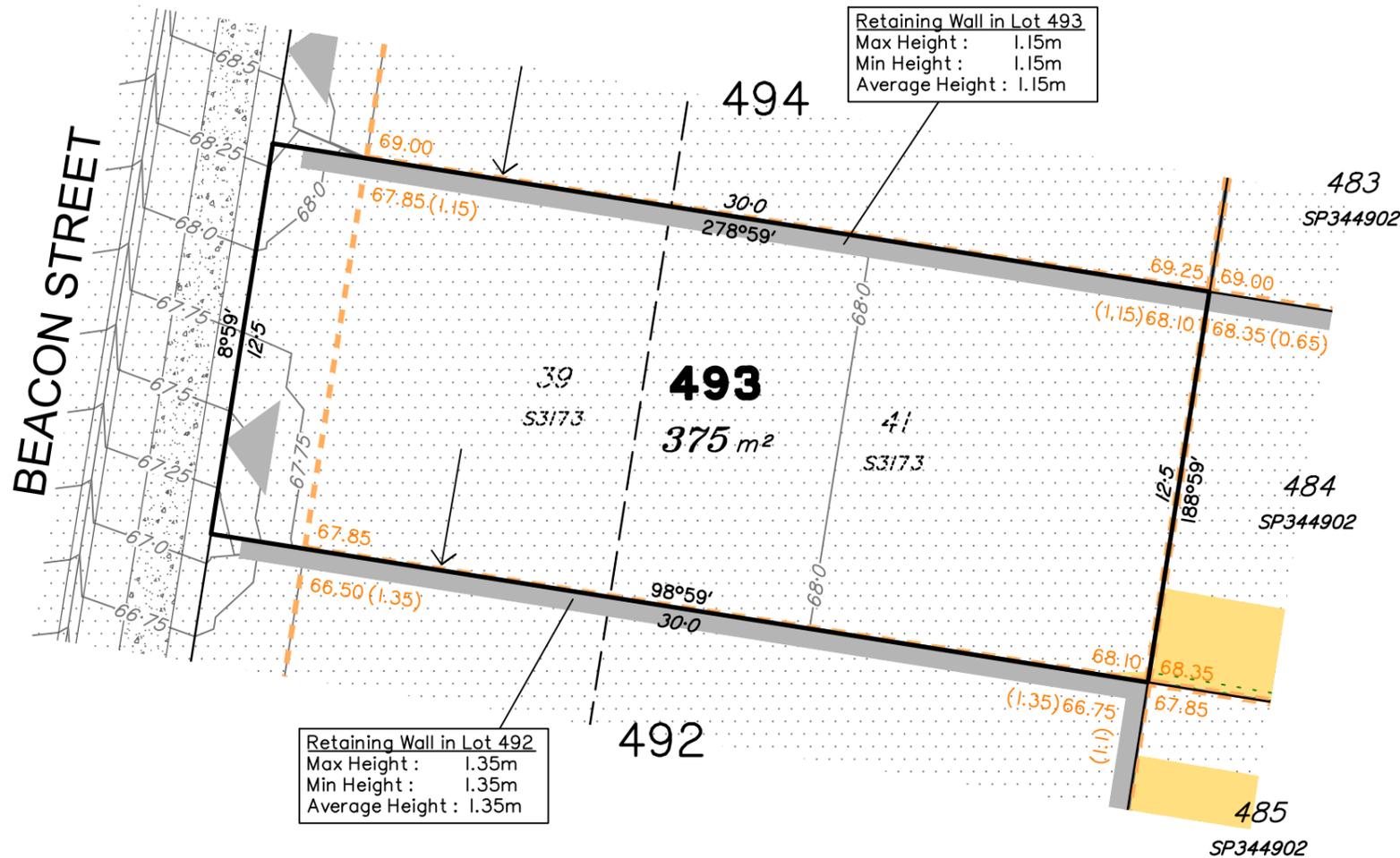
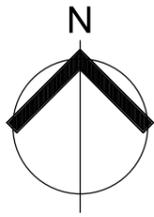
Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 68 DP A_492



STAGE 16



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351246) and engineering plans provided on the 14/10/24 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 493 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

Parts of Lot 493 are subject to areas of fill less than 0.25m in depth.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



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Disclosure Plan for Proposed Lot 493 (Restricted) on SP351246

Described as part of Lot 1000 (Restricted) on SP344901 & Lot 2 (Restricted) on RP196154
 Existing Title Reference: 51358403, 16944009, 16944010 & 16944011

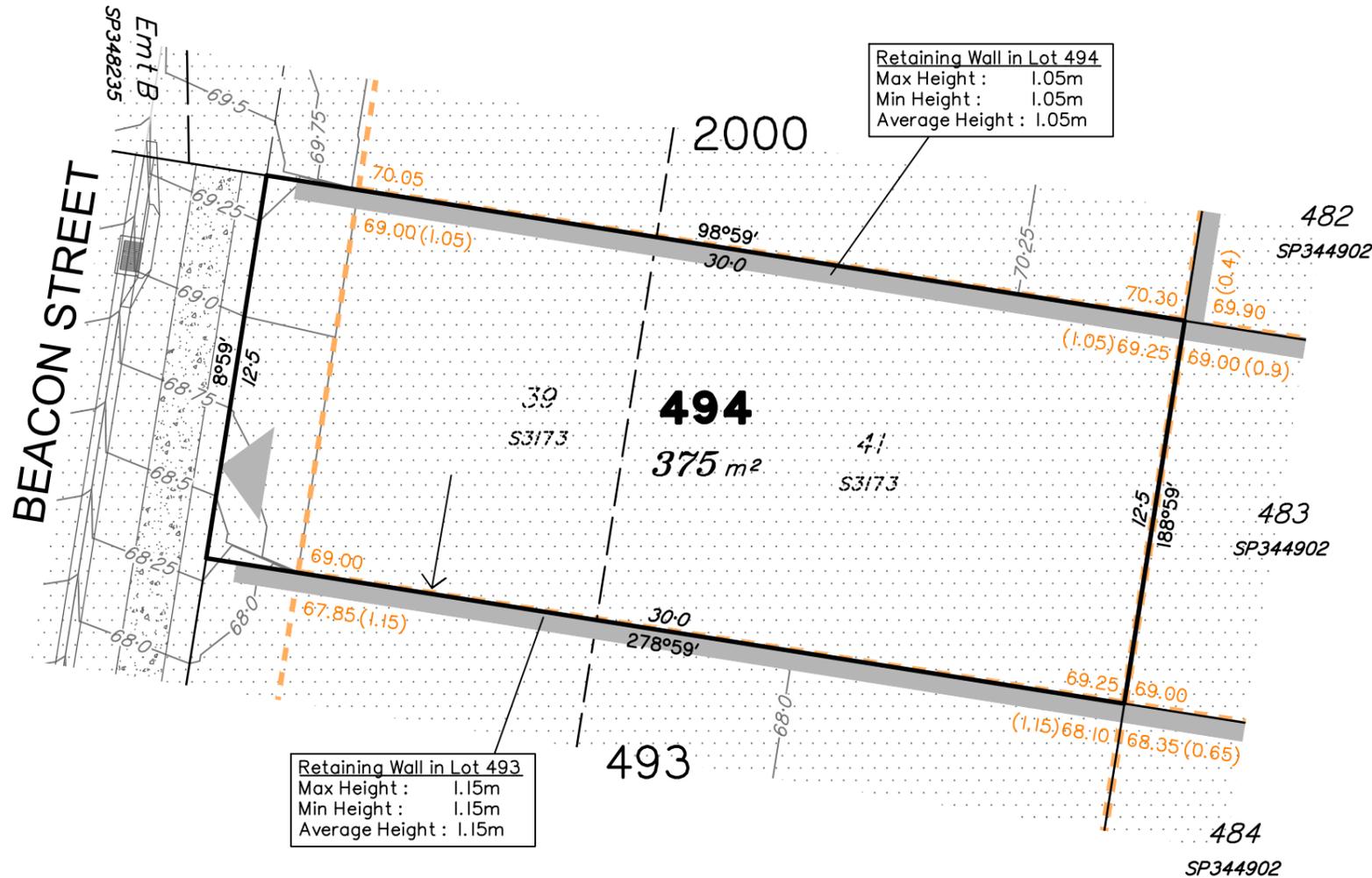
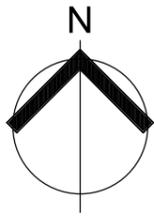
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

Scale @A3 1: 200
 Dwg No. 9780 S 68 DP A_493



STAGE 16



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall
(Height shown in brackets on lower side)
- XX.XX Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

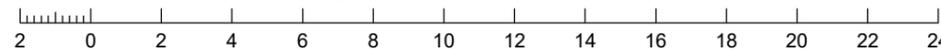
Lot 494 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



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Disclosure Plan for Proposed Lot 494 (Restricted) on SP351246

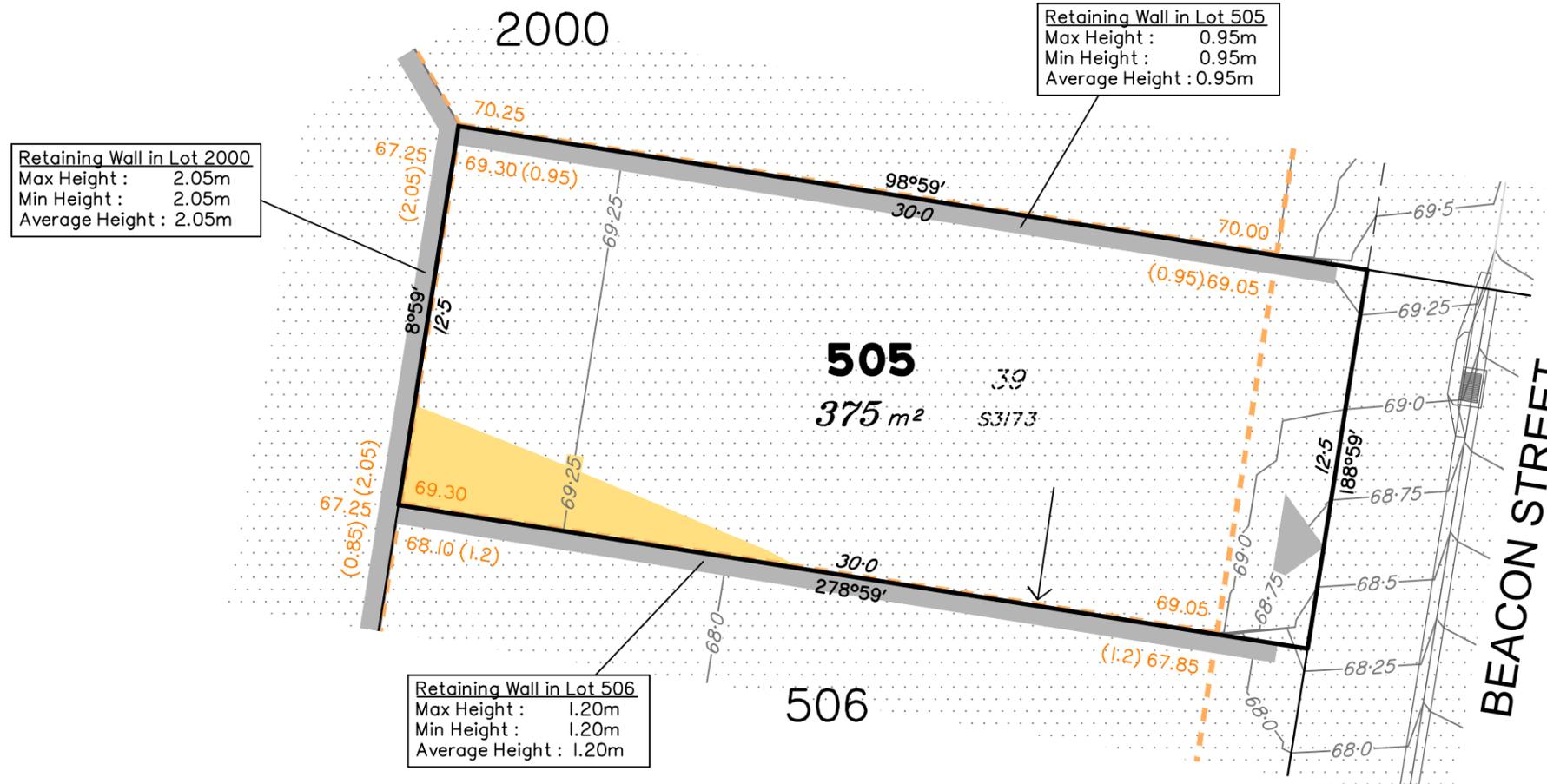
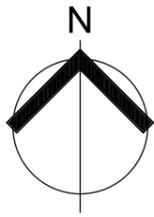
Described as part of Lot 1000 (Restricted) on SP344901 & Lot 2 (Restricted) on RP196154
 Existing Title Reference: 51358403, 16944009, 16944010 & 16944011

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 9780 S 68 DP A_494



STAGE 16



Retaining Wall in Lot 2000
 Max Height : 2.05m
 Min Height : 2.05m
 Average Height : 2.05m

Retaining Wall in Lot 505
 Max Height : 0.95m
 Min Height : 0.95m
 Average Height : 0.95m

Retaining Wall in Lot 506
 Max Height : 1.20m
 Min Height : 1.20m
 Average Height : 1.20m

- ### LEGEND
- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Proposed Retaining Wall (Height shown in brackets on lower side)
 - XX.XX Finished Design Surface Level
 - Earthworks Pad Extents
 - Top of Batter
 - Built to Boundary Location
 - Future Development Lot Boundary
 - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The relevant authorities have not yet granted operational works approval for the proposed lot.

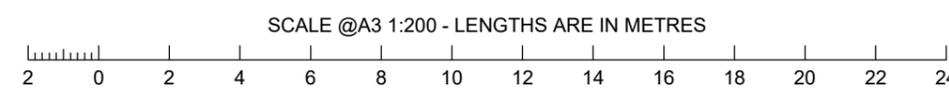
Lot 505 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

Parts of Lot 505 are subject to areas of fill less than 0.25m in depth.



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Disclosure Plan for Proposed Lot 505 (Restricted) on SP351246

Described as part of Lot 2 (Restricted) on RP196154
 Existing Title Reference: 16944009, 16944010 & 16944011

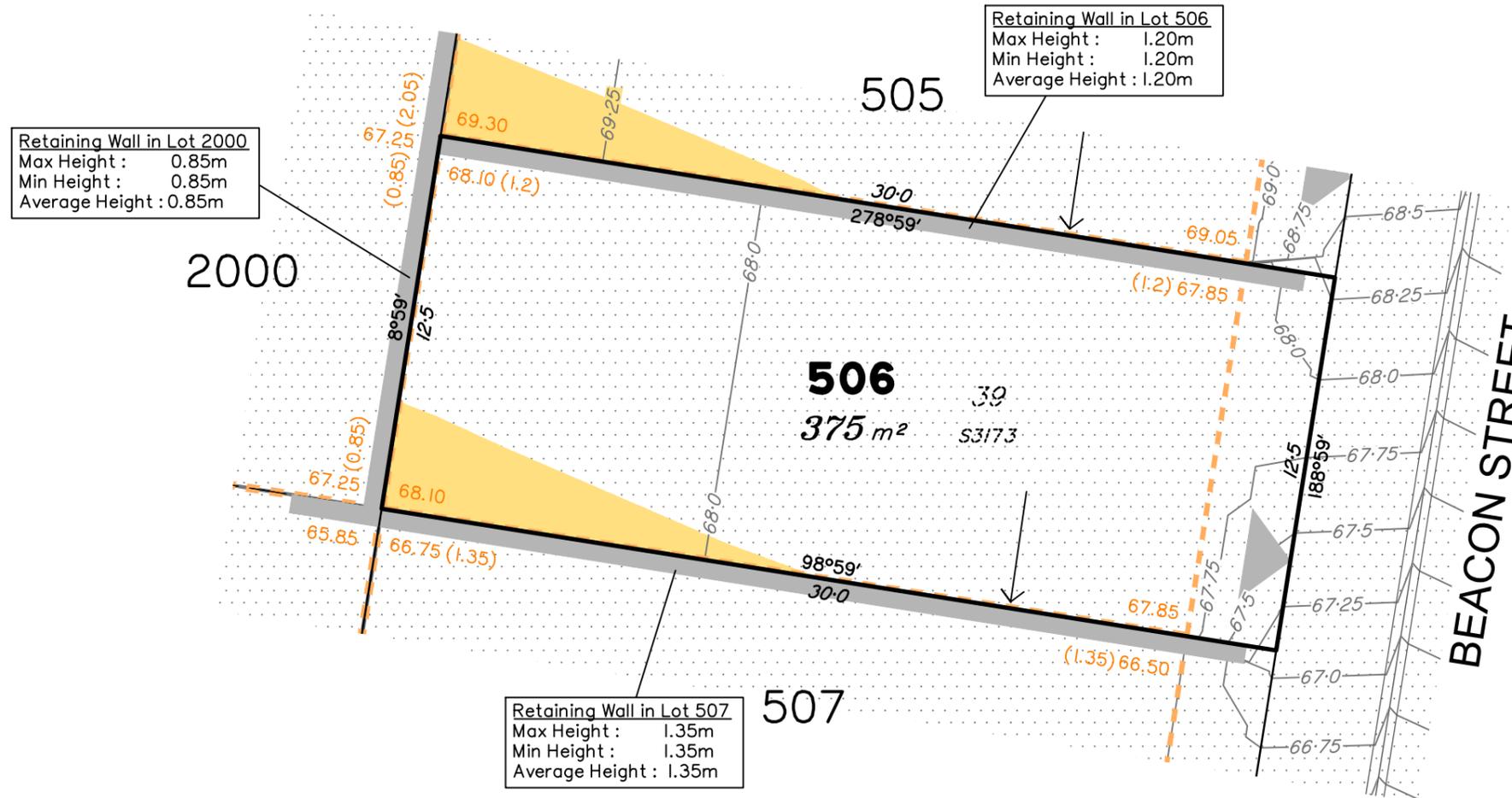
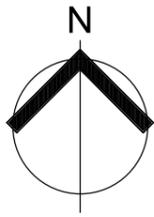
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

Scale @A3 1: 200
 Dwg No. 9780 S 68 DP A_505



STAGE 16



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- (1.5) Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- ← Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351246) and engineering plans provided on the 14/10/24 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 506 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

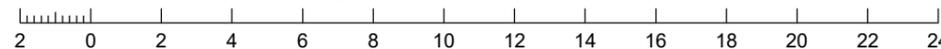
Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

Parts of Lot 506 are subject to areas of fill less than 0.25m in depth.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



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Disclosure Plan for Proposed Lot 506 (Restricted) on SP351246

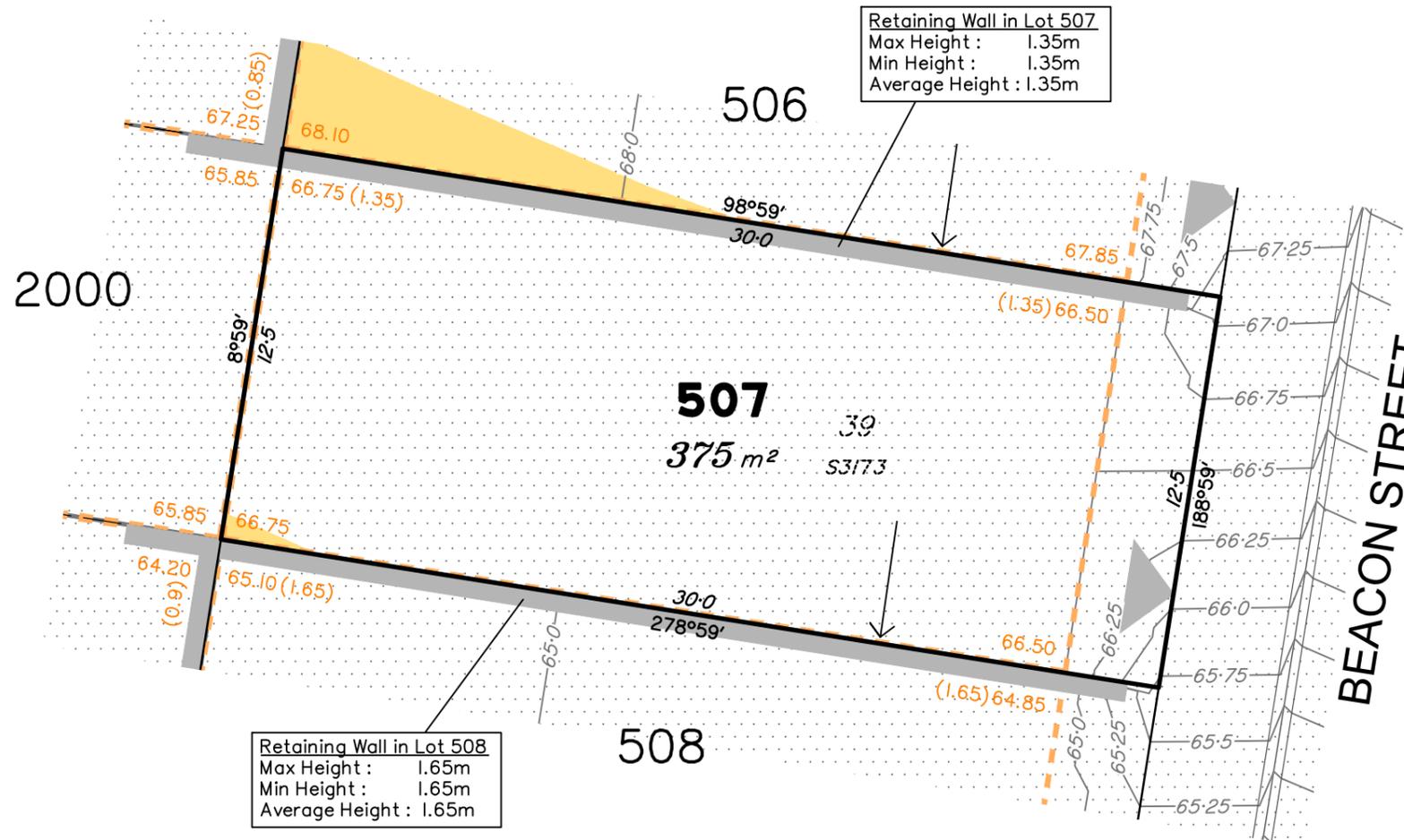
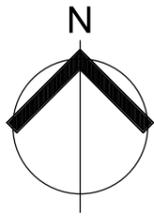
Described as part of Lot 2 (Restricted) on RP196154
 Existing Title Reference: 16944009, 16944010 & 16944011

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 9780 S 68 DP A_506



STAGE 16



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- XX.XX Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 507 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

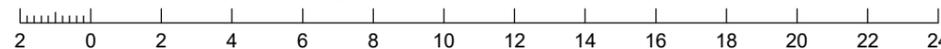
Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

Parts of Lot 507 are subject to areas of fill less than 0.25m in depth.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



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Disclosure Plan for Proposed Lot 507 (Restricted) on SP351246

Described as part of Lot 2 (Restricted) on RP196154
 Existing Title Reference: 16944009, 16944010 & 16944011

Locality of Ripley (Ipswich City Council)

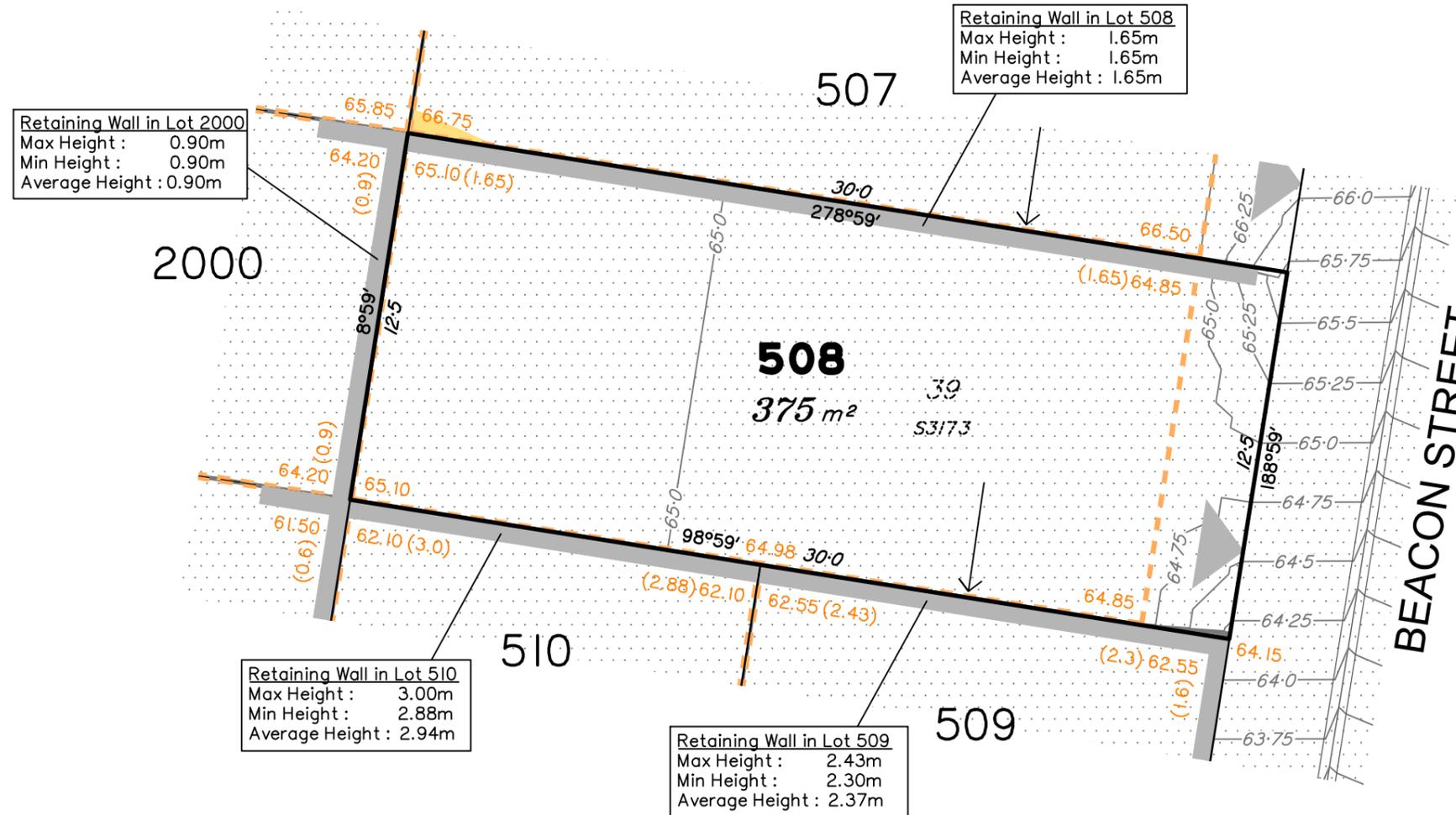
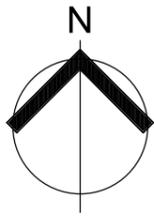
Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 68 DP A_507



STAGE 16



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351246) and engineering plans provided on the 14/10/24 by Colliers Engineering & Design.

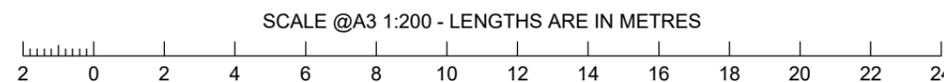
The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 508 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



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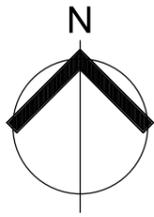
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Disclosure Plan for Proposed Lot 508 (Restricted) on SP351246

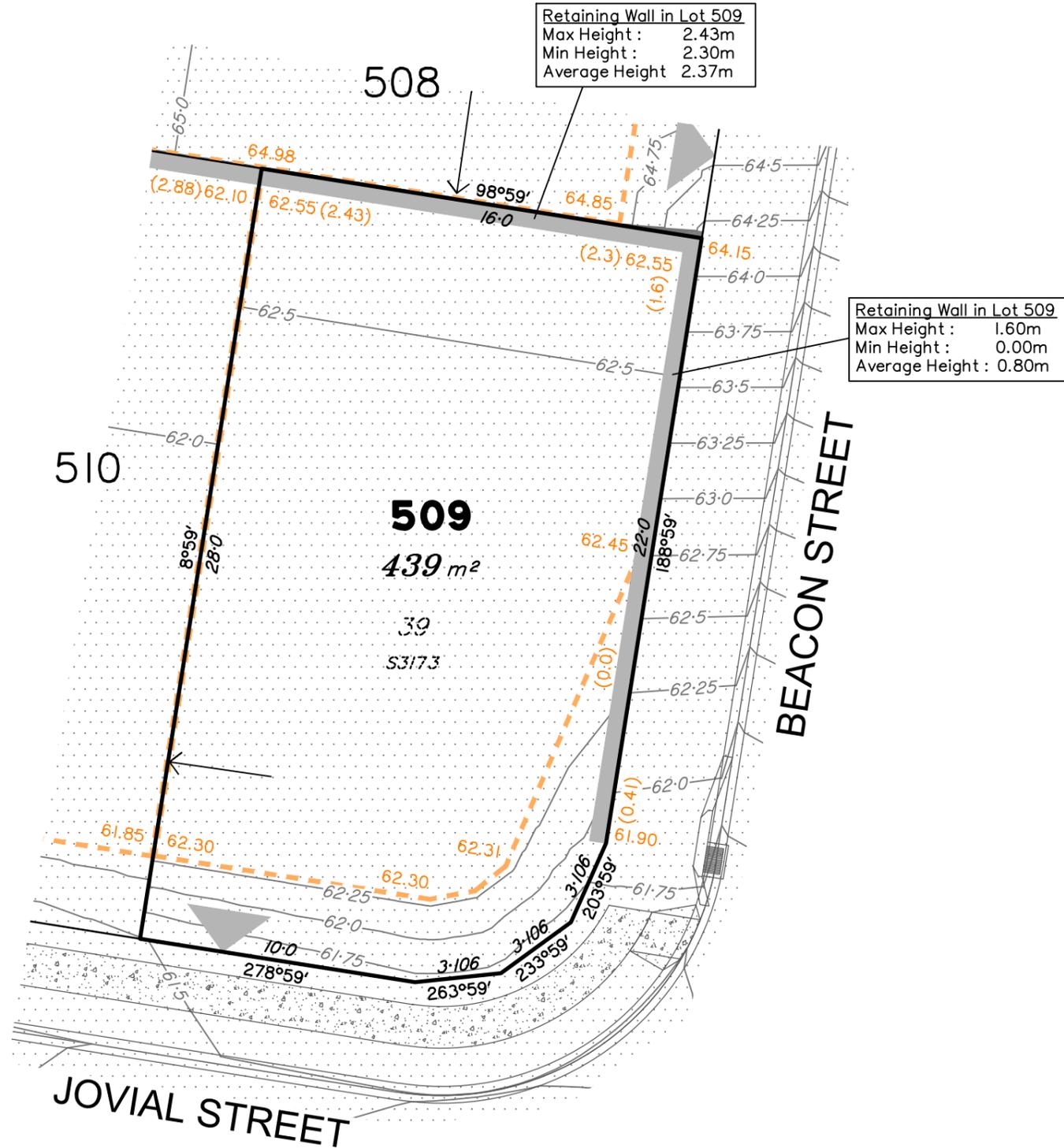
Described as part of Lot 2 (Restricted) on RP196154
 Existing Title Reference: 16944009, 16944010 & 16944011

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 9780 S 68 DP A_508



STAGE 16



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- (1.5) Finished Design Surface Level
- Earthworks Pad Extents
- Top of Batter
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

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NOTES

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The relevant authorities have not yet granted operational works approval for the proposed lot.

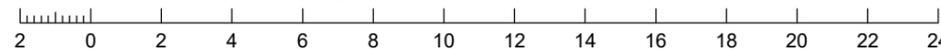
Lot 509 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



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 head office 9 Thompson St Bowen Hills Q 4006
 phone 1300 123 SHG web www.saundershavill.com

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This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

Disclosure Plan for Proposed Lot 509 (Restricted) on SP351246

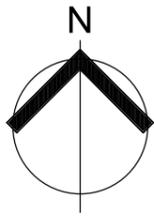
Described as part of Lot 2 (Restricted) on RP196154
 Existing Title Reference: 16944009, 16944010 & 16944011

Locality of Ripley (Ipswich City Council)

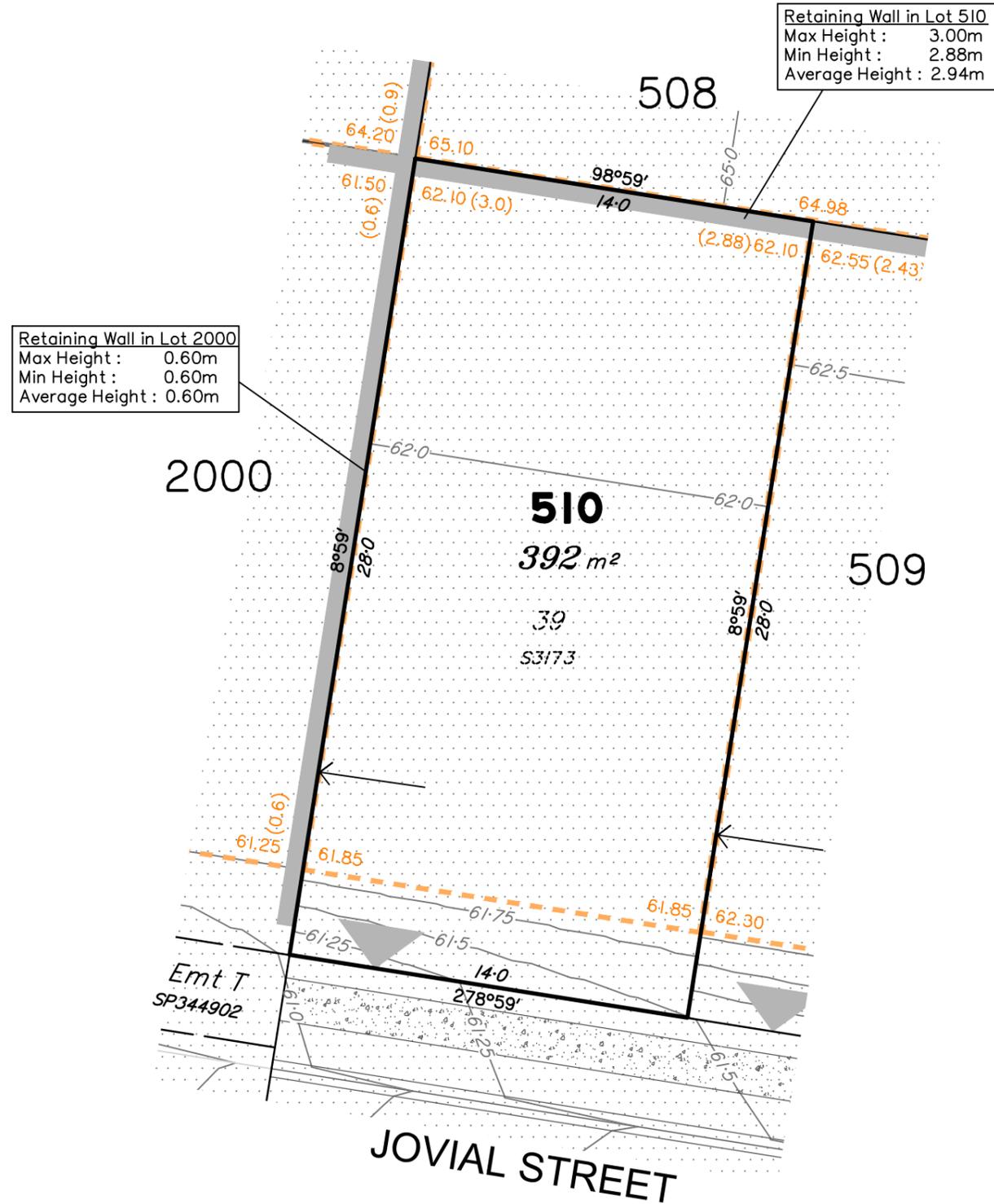
Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 68 DP A_509



STAGE 16



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- (1.5) Finished Design Surface Level
- Earthworks Pad Extents
- ^ Top of Batter
- ← Built to Boundary Location
- Future Development Lot Boundary
- ▲ Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP351246) and engineering plans provided on the 14/10/24 by Colliers Engineering & Design.

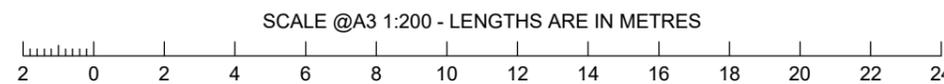
The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 510 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.



No.	by	Date	Chkd	Description
A	MS	29/10/24	PS	Original Issue

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Disclosure Plan for Proposed Lot 510 (Restricted) on SP351246

Described as part of Lot 2 (Restricted) on RP196154
 Existing Title Reference: 16944009, 16944010 & 16944011

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 9780 S 68 DP A_510