

Area of Fill

Area of Cut

Design Contours

Proposed Retaining Wall
(I.5)

Proposed Retaining Wall
(Height shown in brackets on lower side)

XX.XX

Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

Built to Boundary Location

Future Development Lot Boundary

Proposed Driveway Location
(Not all items in this legend may be relevant to the

NOTES

lot shown on this plan)

This plan has been prepared from preliminary survey plan (SP348243) and engineering plans provided on the 17/04/24 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have granted operational works approval for the proposed lot.

Lot 290 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

	No.	by	Date	Chkd	Description
S	Α	TG	29/04/24	CU	Original Issue
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Saunders Havill Group Pty Ltd ABN 24 I44 972 949

Brisbane Springfield

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LIVELY STREET

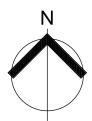
Disclosure Plan for Proposed Lot 290 (Restricted) on SP348243

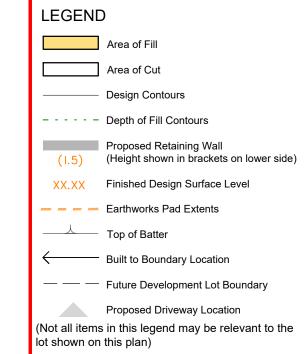
Described as part of Lot 3420 (Restricted) on SP334742
Existing Title Reference: 51333769

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200







NOTES

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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

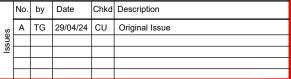
The relevant authorities have granted operational works approval for the proposed lot.

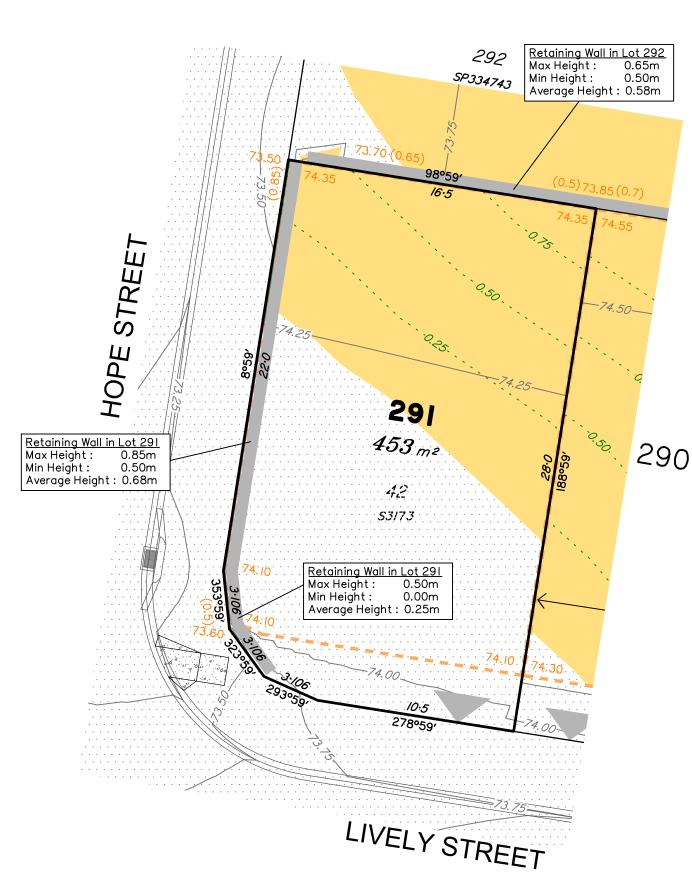
Lot 291 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

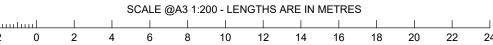
Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.









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Disclosure Plan for Proposed Lot 291 (Restricted) on SP348243

Described as part of Lot 3420 (Restricted) on SP334742
Existing Title Reference: 51333769

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200

Dwg No. 9780 S 58 DP A_291

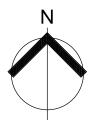


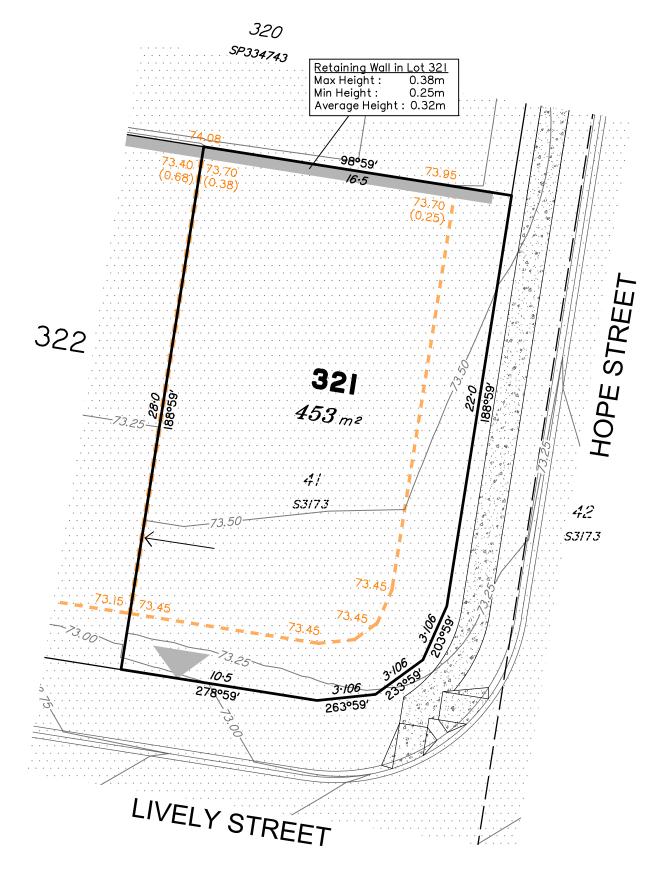
Saunders Havill Group Pty Ltd ABN 24 144 972 949
Brisbane Springfield
head office 9 Thompson St Bowen Hills Q 4006
phone 1300 123 SHG web www.saundershavill.com

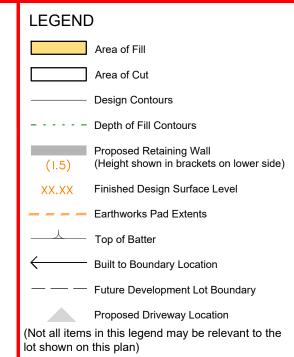
surveying town planning urban design crivironmental management landscape architecture

Locality of Ripley (Ipswich City Council)









NOTES

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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have granted operational works approval for the proposed lot.

Lot 321 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

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	No.	by	Date	Chkd	Description
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SCALE @A3 1:200 - LENGTHS ARE IN METRES 22 18 20

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Disclosure Plan for Proposed Lot 321 (Restricted) on SP348243

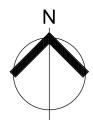
Described as part of Lot 1 (Restricted) on RP196152 Existing Title Reference: 16786116, 16786117 & 16786118

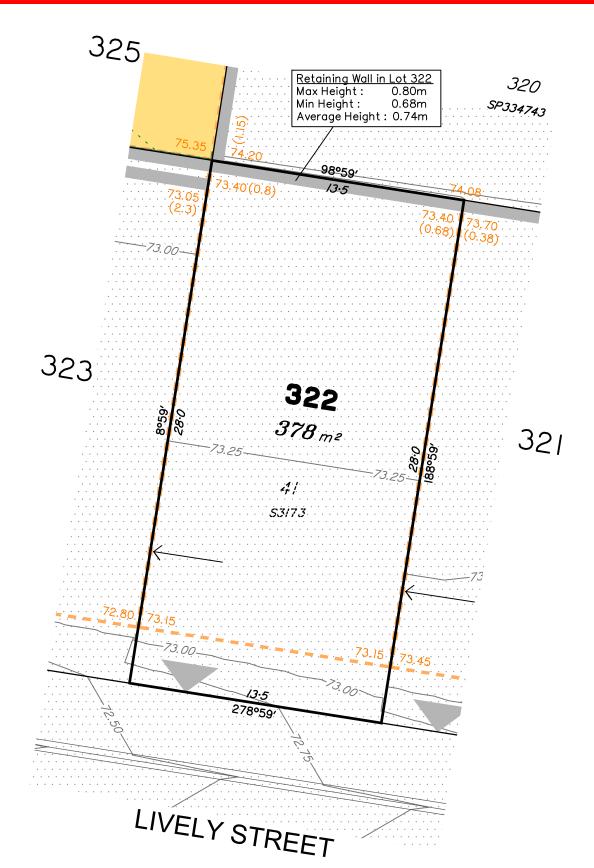
Locality of Ripley (Ipswich City Council)

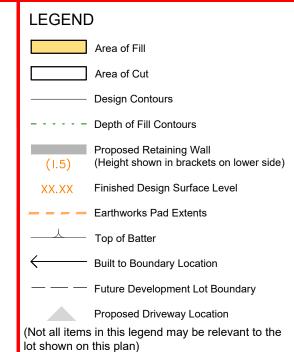
Level Datum: AHD der. Origin of Levels: PSM 49894 RL of Origin: 62.350 Contour Interval: 0.25m Scale @A3 1: 200











NOTES

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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have granted operational works approval for the proposed lot.

Lot 322 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

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No.	by	Date	Chkd	Description
Α	TG	29/04/24	CU	Original Issue
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 SCALE @A3 1:200 - LENGTHS ARE IN METRES

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Disclosure Plan for Proposed Lot 322 (Restricted) on SP348243

Described as part of Lot 1 (Restricted) on RP196152

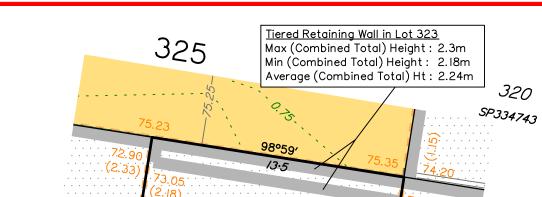
Existing Title Reference: 16786116, 16786117 & 16786118

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200







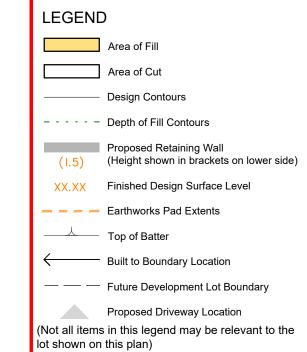
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STAGE 13



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This plan has been prepared from preliminary survey plan (SP348243) and engineering plans provided on the 17/04/24 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

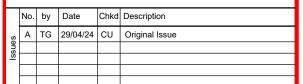
The relevant authorities have granted operational works approval for the proposed lot.

Lot 323 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

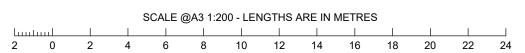
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.







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LIVELY STREET

324

Disclosure Plan for Proposed Lot 323 (Restricted) on SP348243

322

Described as part of Lot 1 (Restricted) on RP196152
Existing Title Reference: 16786116, 16786117 & 16786118

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200

Dwg No. 9780 S 58 DP A_323



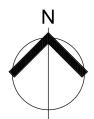
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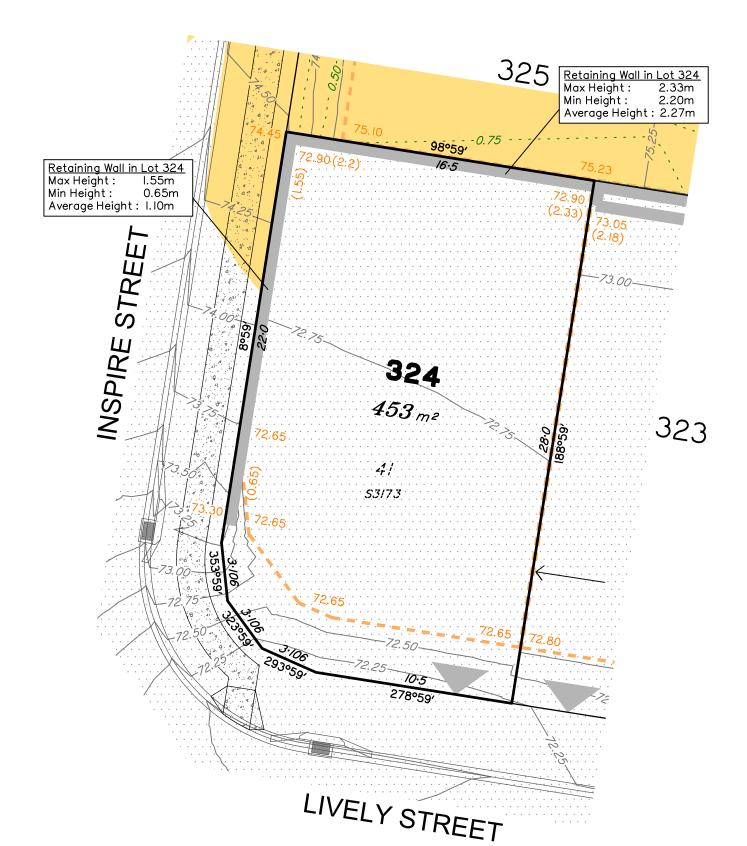
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head office 9 Thompson St Bowen Hills Q 4006
phone I300 I23 SHG web www.saundershavill.com

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Locality of Ripley (Ipswich City Council)







LEGEND Area of Fill Area of Cut **Design Contours** - - Depth of Fill Contours Proposed Retaining Wall (Height shown in brackets on lower side) Finished Design Surface Level Earthworks Pad Extents Top of Batter Built to Boundary Location Future Development Lot Boundary Proposed Driveway Location

NOTES

lot shown on this plan)

This plan has been prepared from preliminary survey plan (SP348243) and engineering plans provided on the 17/04/24 by Colliers Engineering & Design.

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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have granted operational works approval for the proposed lot.

Lot 324 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

No.	by	Date	Chkd	Description
Α	TG	29/04/24	CU	Original Issue
	No.			



SCALE @A3 1:200 - LENGTHS ARE IN METRES 22 20

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Disclosure Plan for Proposed Lot 324 (Restricted) on SP348243

Described as part of Lot 1 (Restricted) on RP196152 Existing Title Reference: 16786116, 16786117 & 16786118

Locality of Ripley (Ipswich City Council)

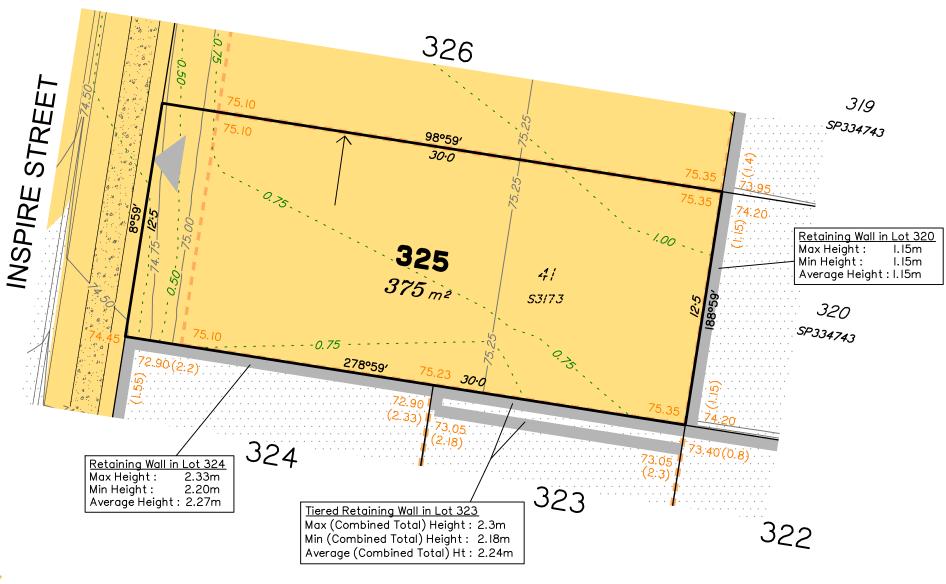
Level Datum: AHD der. Origin of Levels: PSM 49894 RL of Origin: 62.350 Contour Interval: 0.25m Scale @A3 1: 200

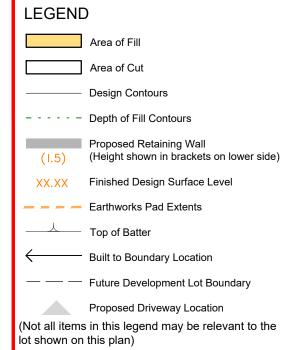












NOTES

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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have granted operational works approval for the proposed lot.

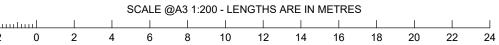
Lot 325 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

BELLEVUE
RIPLEY



Disclosure Plan for Proposed Lot 325 (Restricted) on SP348243

Described as part of Lot 1 (Restricted) on RP196152 Existing Title Reference: 16786116, 16786117 & 16786118

Locality of Ripley (Ipswich City Council)

	No.	by	Date	Chkd	Description
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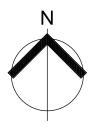
unless otherwise stated, and therefore is subject to final survey

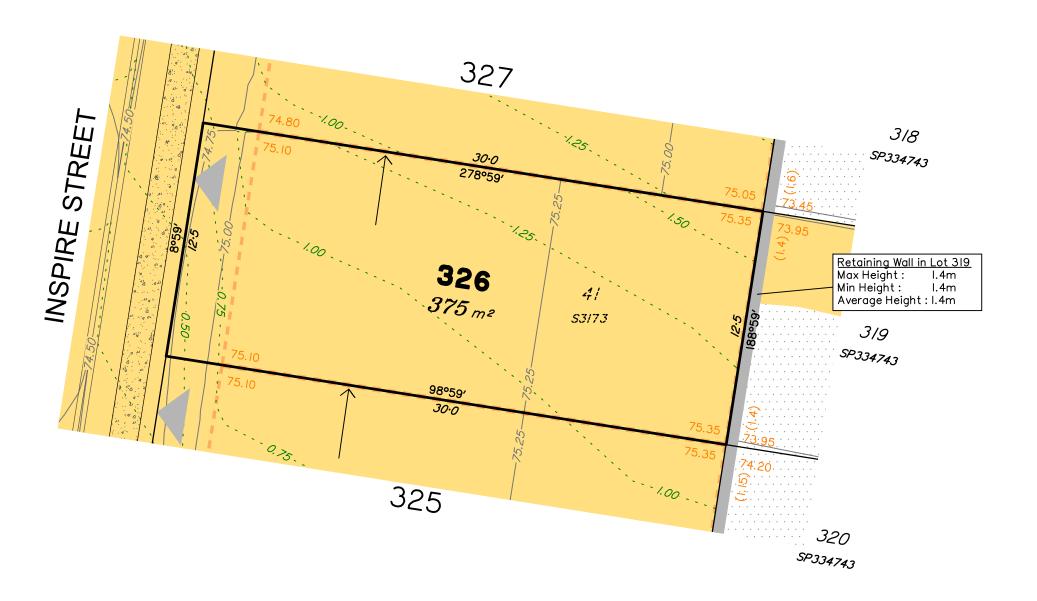
and construction of operational works.

Origin of Levels: PSM 49894 RL of Origin: 62.350 Contour Interval: 0.25m Scale @A3 1: 200

Level Datum: AHD der.







LEGEND

Area of Fill Area of Cut **Design Contours** - - Depth of Fill Contours Proposed Retaining Wall (Height shown in brackets on lower side) Finished Design Surface Level Earthworks Pad Extents Top of Batter **Built to Boundary Location** Future Development Lot Boundary Proposed Driveway Location

NOTES

lot shown on this plan)

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(Not all items in this legend may be relevant to the

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have granted operational works approval for the proposed lot.

Lot 326 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

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This Disclosure Plan is prepared for the sole purpose of satisfying

Disclosure Plan for Proposed Lot 326 (Restricted) on SP348243

Described as part of Lot 1 (Restricted) on RP196152 Existing Title Reference: 16786116, 16786117 & 16786118

Locality of Ripley (Ipswich City Council)

	No.	by	Date	Chkd	Description
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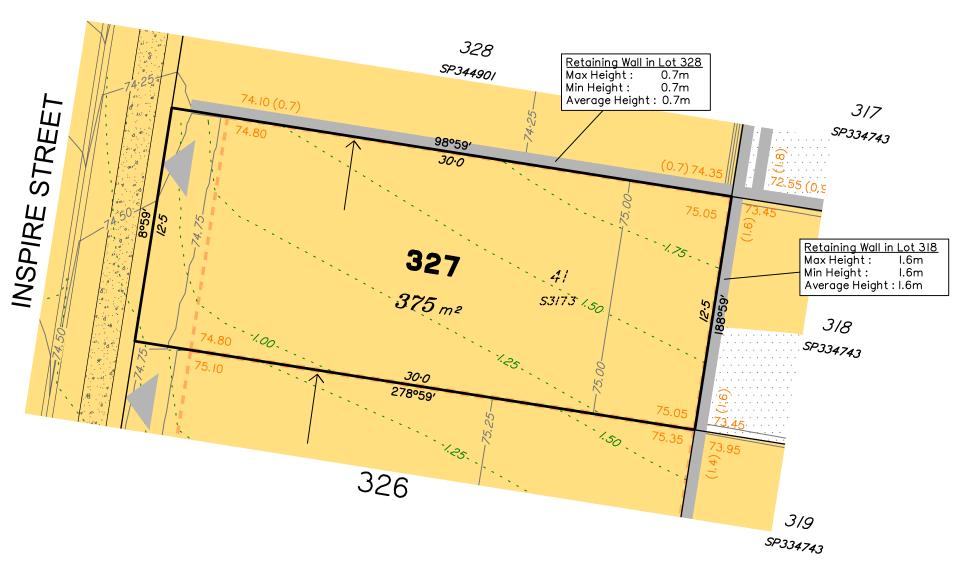
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Level Datum: AHD der. Origin of Levels: PSM 49894 RL of Origin: 62.350 Contour Interval: 0.25m Scale @A3 1: 200







Area of Fill Area of Cut Design Contours Proposed Retaining Wall (Height shown in brackets on lower side) XX.XX Finished Design Surface Level Earthworks Pad Extents Top of Batter

Built to Boundary Location

Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

Future Development Lot Boundary

NOTES

This plan has been prepared from preliminary survey plan (SP348243) and engineering plans provided on the 17/04/24 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have granted operational works approval for the proposed lot.

Lot 327 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

	No.	by	Date	Chkd	Description
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Disclosure Plan for Proposed Lot 327 (Restricted) on SP348243

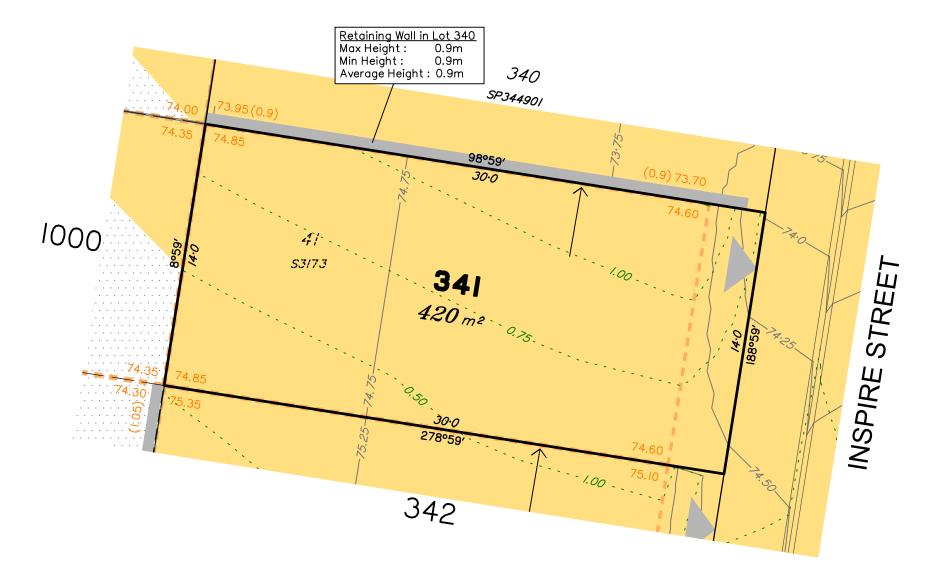
Described as part of Lot 1 (Restricted) on RP196152 Existing Title Reference: 16786116, 16786117 & 16786118

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200







LEGEND Area of Fill Area of Cut **Design Contours** - - - Depth of Fill Contours Proposed Retaining Wall (Height shown in brackets on lower side) Finished Design Surface Level Earthworks Pad Extents Top of Batter **Built to Boundary Location** — Future Development Lot Boundary

(Not all items in this legend may be relevant to the lot shown on this plan)

Proposed Driveway Location

NOTES

This plan has been prepared from preliminary survey plan (SP348243) and engineering plans provided on the 17/04/24 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have granted operational works approval for the proposed lot.

Lot 341 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

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Disclosure Plan for Proposed Lot 341 (Restricted) on SP348243 Described as part of Lot 1 (Restricted) on RP196152

		No.	by	Date	Chkd	Description
	S	Α	TG	29/04/24	CU	Original Issue
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Level Datum: AHD der. Origin of Levels: PSM 49894 RL of Origin: 62.350 Contour Interval: 0.25m Scale @A3 1: 200

Dwg No. 9780 S 58 DP A 341

Locality of Ripley (Ipswich City Council)

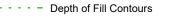
Existing Title Reference: 16786116, 16786117 & 16786118











Design Contours

Proposed Retaining Wall (Height shown in brackets on lower side)

Earthworks Pad Extents

Finished Design Surface Level

Top of Batter

Built to Boundary Location — Future Development Lot Boundary

Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have granted operational works approval for the proposed lot.

Lot 342 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

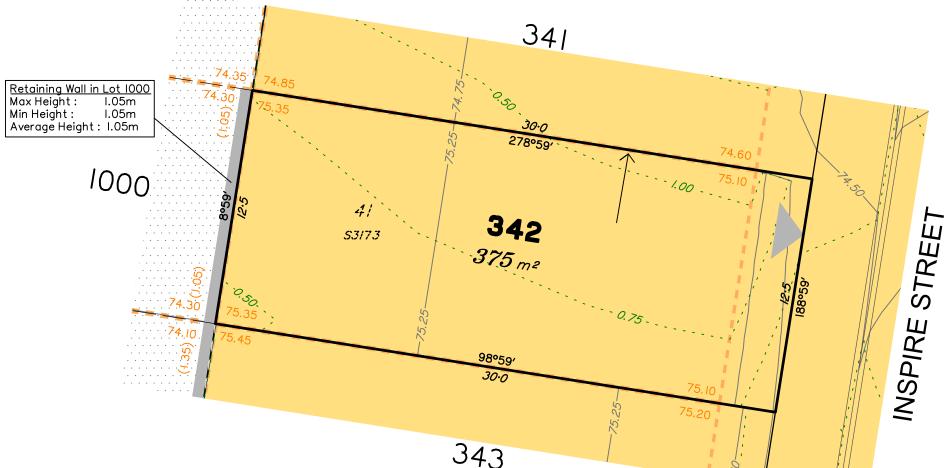
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

Issues	No.	by	Date	Chkd	Description
	Α	TG	29/04/24	CU	Original Issue







SCALE @A3 1:200 - LENGTHS ARE IN METRES 22 18 20

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Disclosure Plan for Proposed Lot 342 (Restricted) on SP348243

Described as part of Lot 1 (Restricted) on RP196152 Existing Title Reference: 16786116, 16786117 & 16786118

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der. Origin of Levels: PSM 49894 RL of Origin: 62.350 Contour Interval: 0.25m Scale @A3 1: 200



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lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP348243) and engineering plans provided on the 17/04/24 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have granted operational works approval for the proposed lot.

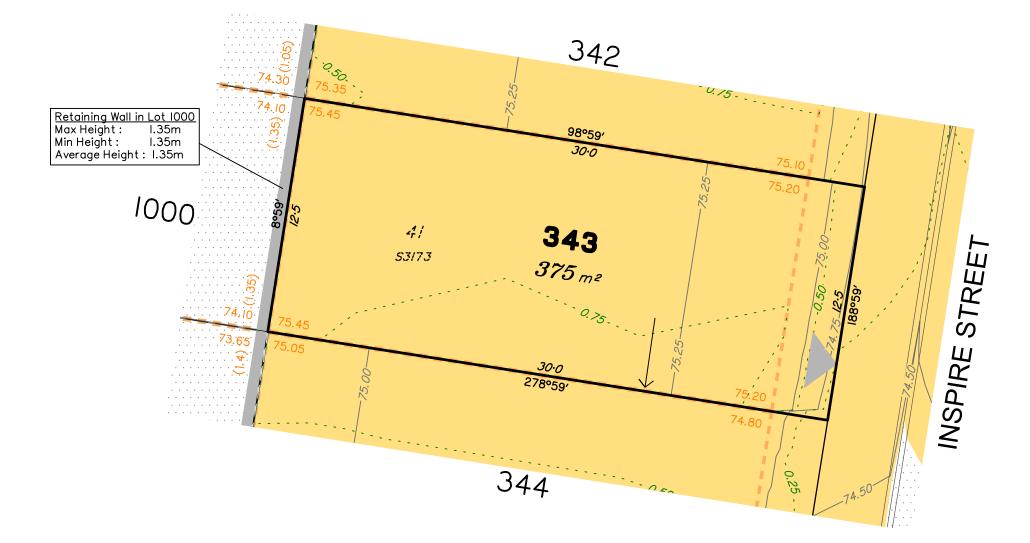
Lot 343 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

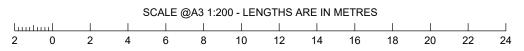
All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

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Disclosure Plan for Proposed Lot 343 (Restricted) on SP348243

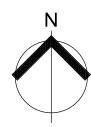
Described as part of Lot 1 (Restricted) on RP196152 Existing Title Reference: 16786116, 16786117 & 16786118

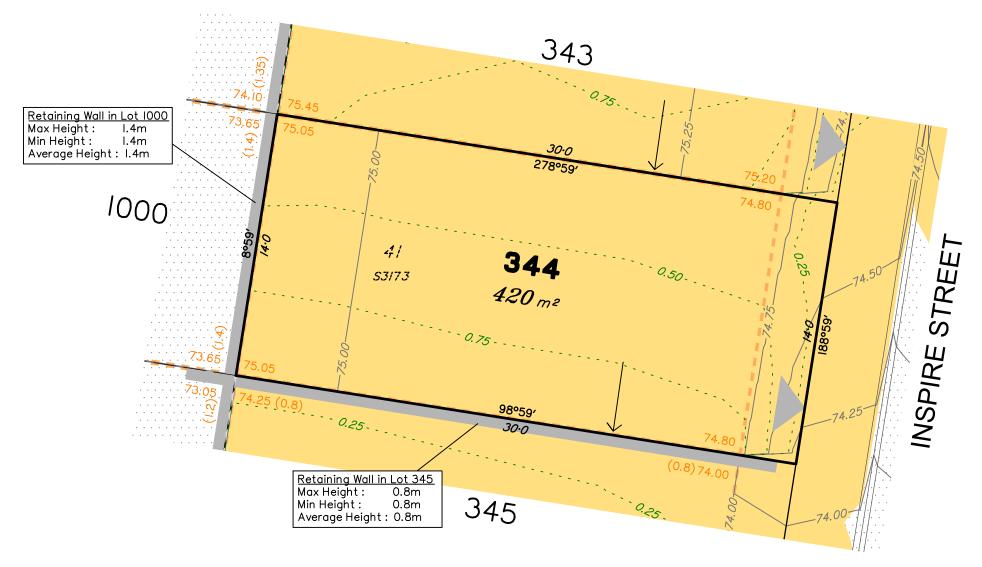
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der. Origin of Levels: PSM 49894 RL of Origin: 62.350 Contour Interval: 0.25m Scale @A3 1: 200









Area of Fill Area of Cut **Design Contours** - - Depth of Fill Contours Proposed Retaining Wall (Height shown in brackets on lower side) Finished Design Surface Level Earthworks Pad Extents Top of Batter Built to Boundary Location — Future Development Lot Boundary Proposed Driveway Location (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

LEGEND

This plan has been prepared from preliminary survey plan (SP348243) and engineering plans provided on the 17/04/24 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have granted operational works approval for the proposed lot.

Lot 344 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

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Disclosure Plan for Proposed Lot 344 (Restricted) on SP348243

Described as part of Lot 1 (Restricted) on RP196152 Existing Title Reference: 16786116, 16786117 & 16786118

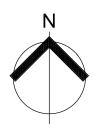
Locality of Ripley (Ipswich City Council)

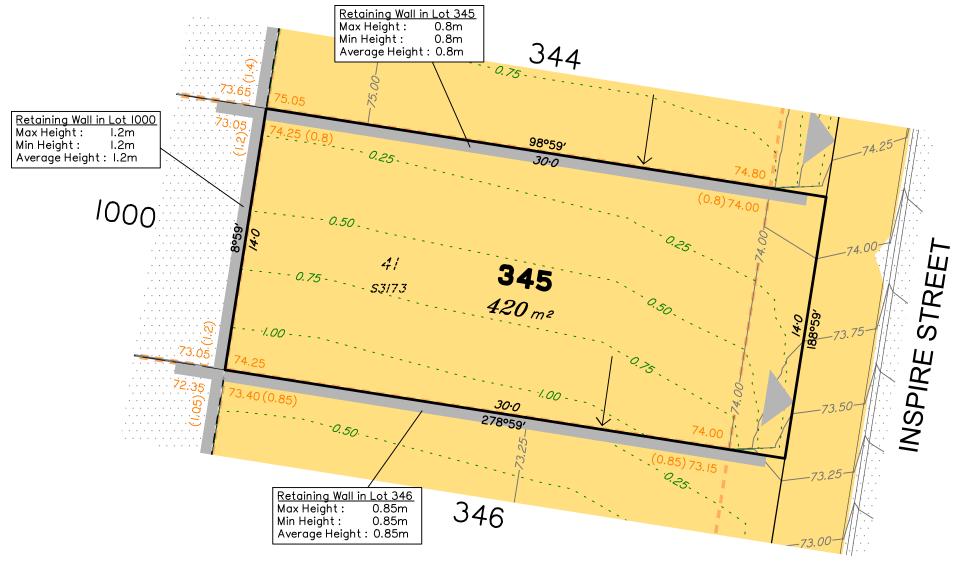
Level Datum: AHD der. Origin of Levels: PSM 49894 RL of Origin: 62.350 Contour Interval: 0.25m Scale @A3 1: 200











LEGEND Area of Fill Area of Cut **Design Contours** - - Depth of Fill Contours Proposed Retaining Wall (Height shown in brackets on lower side) Finished Design Surface Level Earthworks Pad Extents Top of Batter **Built to Boundary Location** — Future Development Lot Boundary Proposed Driveway Location (Not all items in this legend may be relevant to the

NOTES

lot shown on this plan)

This plan has been prepared from preliminary survey plan (SP348243) and engineering plans provided on the 17/04/24 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have granted operational works approval for the proposed lot.

Lot 345 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

	No.	by	Date	Chkd	Description				
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Disclosure Plan for Proposed Lot 345 (Restricted) on SP348243

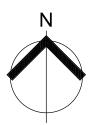
Described as part of Lot 1 (Restricted) on RP196152 Existing Title Reference: 16786116, 16786117 & 16786118

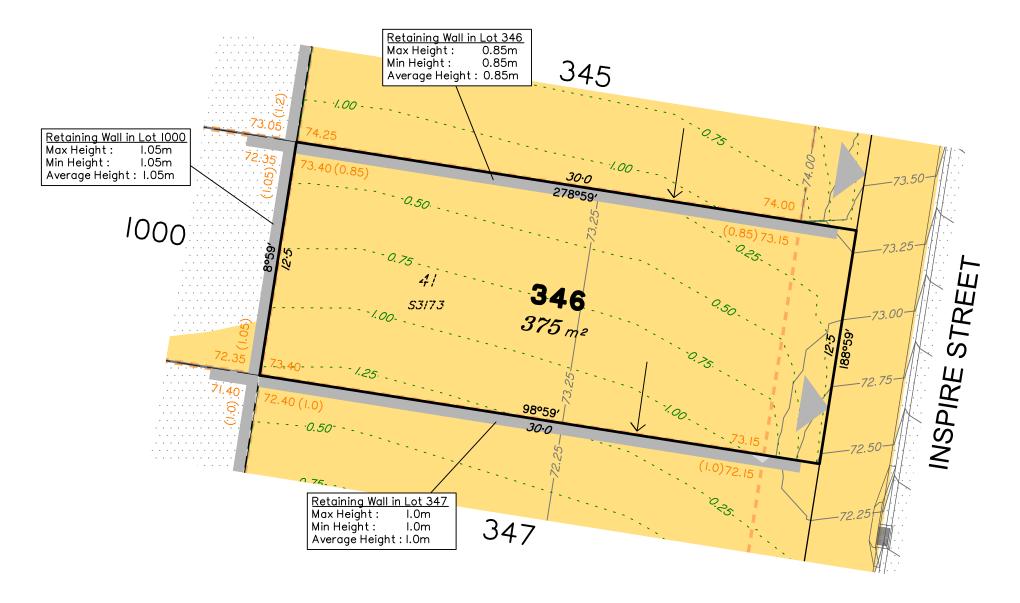
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der. Origin of Levels: PSM 49894 RL of Origin: 62.350 Contour Interval: 0.25m Scale @A3 1: 200









Area of Fill Area of Cut Design Contours Depth of Fill Contours Proposed Retaining Wall (I.5) Proposed Retaining Wall (Height shown in brackets on lower side) XX.XX Finished Design Surface Level Earthworks Pad Extents Top of Batter Built to Boundary Location Future Development Lot Boundary

NOTES

lot shown on this plan)

This plan has been prepared from preliminary survey plan (SP348243) and engineering plans provided on the 17/04/24 by Colliers Engineering & Design.

Proposed Driveway Location
(Not all items in this legend may be relevant to the

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have granted operational works approval for the proposed lot.

Lot 346 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

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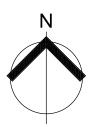
Disclosure Plan for Proposed Lot 346 (Restricted) on SP348243

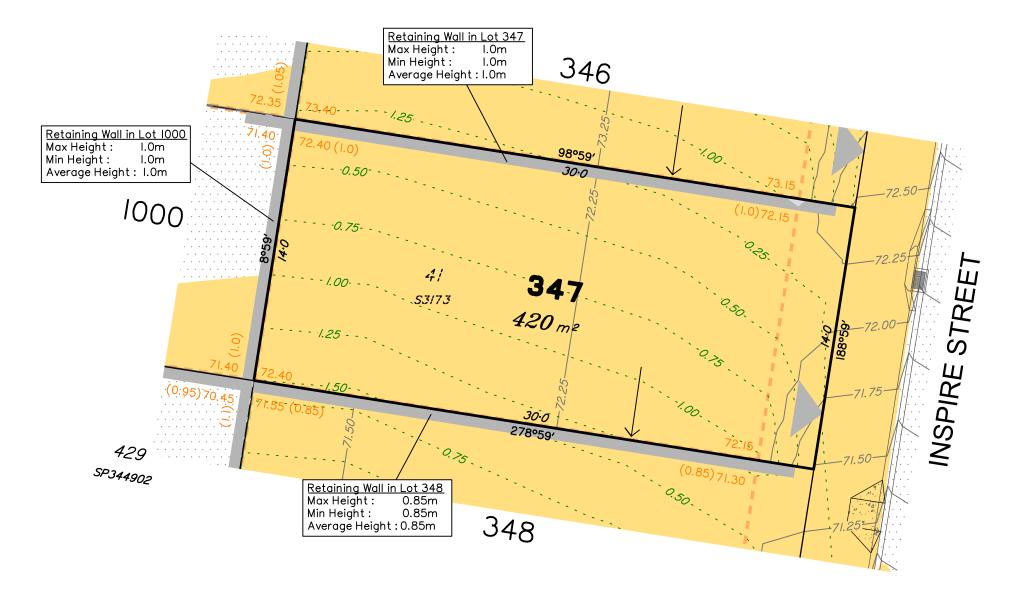
Described as part of Lot 1 (Restricted) on RP196152 Existing Title Reference: 16786116, 16786117 & 16786118

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200







Area of Fill Area of Cut Design Contours Depth of Fill Contours Proposed Retaining Wall (Height shown in brackets on lower side) XX.XX Finished Design Surface Level Earthworks Pad Extents Top of Batter Built to Boundary Location

Proposed Driveway Location
(Not all items in this legend may be relevant to the lot shown on this plan)

Future Development Lot Boundary

NOTES

This plan has been prepared from preliminary survey plan (SP348243) and engineering plans provided on the 17/04/24 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have granted operational works approval for the proposed lot.

Lot 347 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

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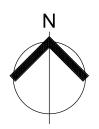
Disclosure Plan for Proposed Lot 347 (Restricted) on SP348243

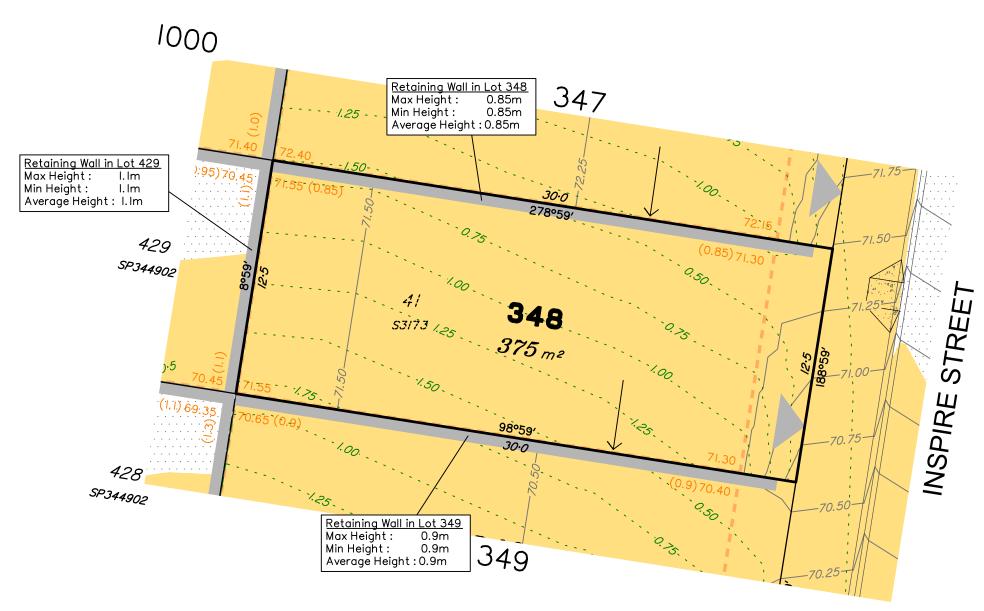
Described as part of Lot 1 (Restricted) on RP196152
Existing Title Reference: 16786116, 16786117 & 16786118

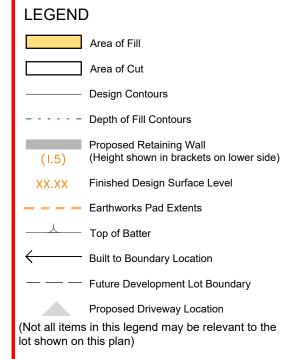
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200









NOTES

This plan has been prepared from preliminary survey plan (SP348243) and engineering plans provided on the 17/04/24 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have granted operational works approval for the proposed lot.

Lot 348 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

Chkd Description

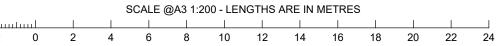
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Level Datum: AHD der. Origin of Levels: PSM 49894 RL of Origin: 62.350 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 58 DP A 348

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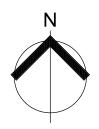
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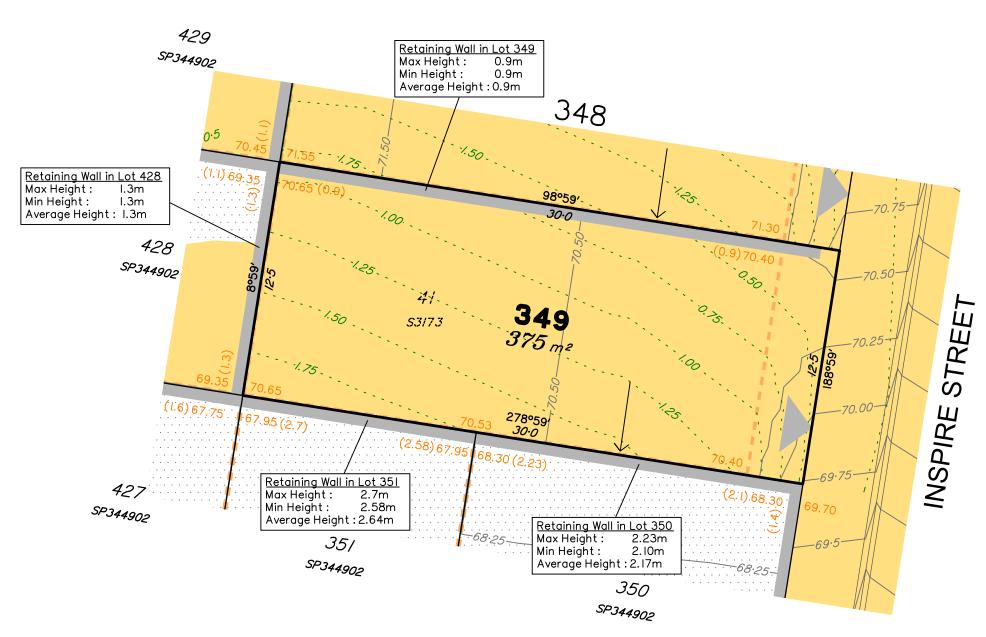
Disclosure Plan for Proposed Lot 348 (Restricted) on SP348243

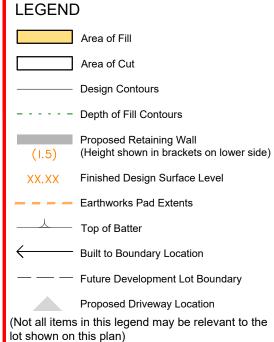
Described as part of Lot 1 (Restricted) on RP196152 Existing Title Reference: 16786116, 16786117 & 16786118

Locality of Ripley (Ipswich City Council)









NOTES

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The relevant authorities have granted operational works approval for the proposed lot.

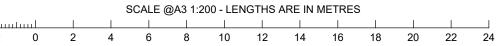
Lot 349 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

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Disclosure Plan for Proposed Lot 349 (Restricted) on SP348243

Described as part of Lot 1 (Restricted) on RP196152 Existing Title Reference: 16786116, 16786117 & 16786118

Locality of Ripley (Ipswich City Council)

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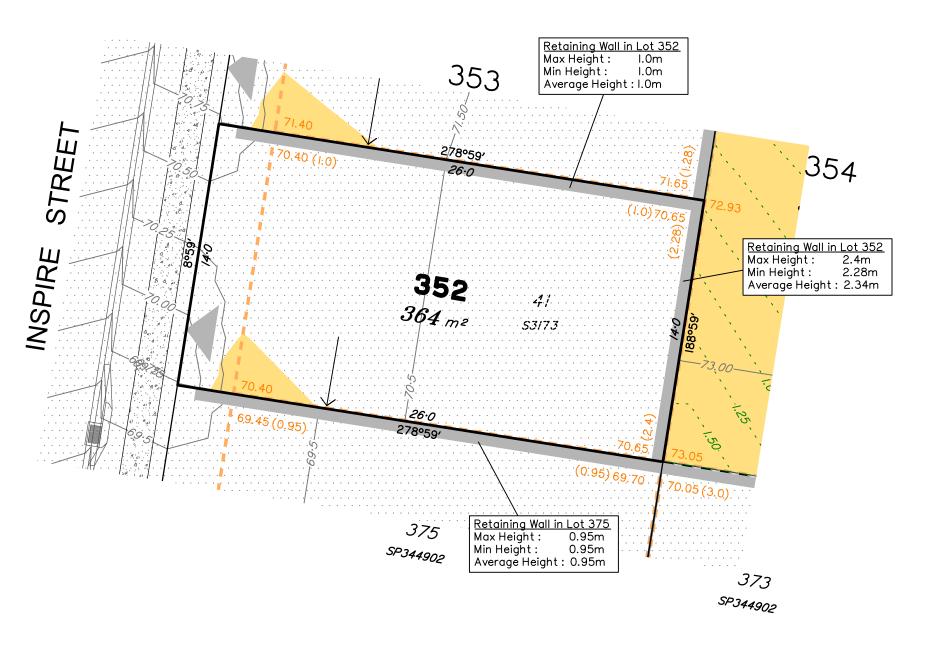
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Level Datum: AHD der. Origin of Levels: PSM 49894 RL of Origin: 62.350 Contour Interval: 0.25m Scale @A3 1: 200







LEGEND

Area of Fill

Area of Cut

Design Contours

Proposed Retaining Wall
(Height shown in brackets on lower side)

XX.XX Finished Design Surface Level

Earthworks Pad Extents

Top of Batter

— — Future Development Lot Boundary

Built to Boundary Location

Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP348243) and engineering plans provided on the 17/04/24 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have granted operational works approval for the proposed lot.

Lot 352 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

Parts of Lot 352 are subject to areas of fill less than 0.25m in depth.

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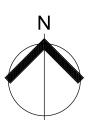
Disclosure Plan for Proposed Lot 352 (Restricted) on SP348243

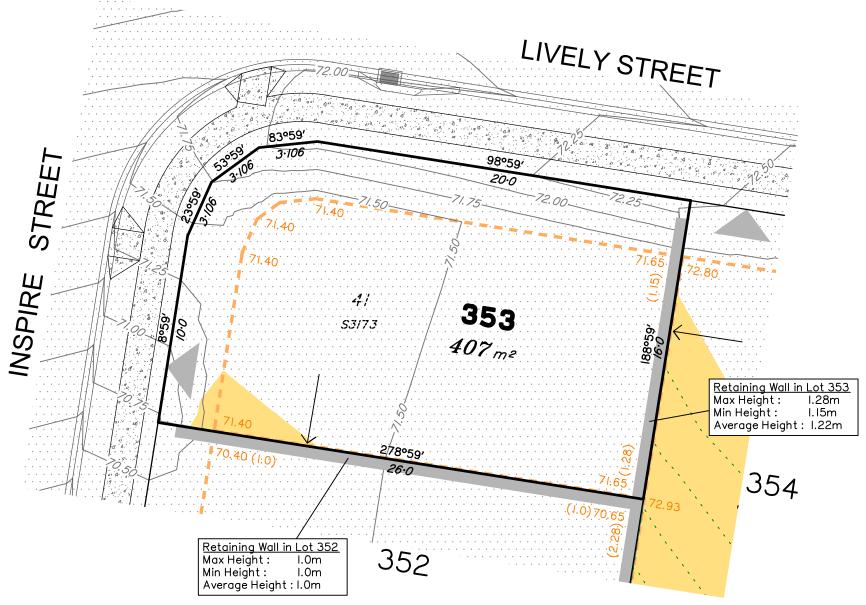
Described as part of Lot 1 (Restricted) on RP196152
Existing Title Reference: 16786116, 16786117 & 16786118

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
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Disclosure Plan for Proposed Lot 353 (Restricted) on SP348243

Described as part of Lot 1 (Restricted) on RP196152 Existing Title Reference: 16786116, 16786117 & 16786118

Locality of Ripley (Ipswich City Council)

ı		Area or Fill
		Area of Cut
		Design Contours
		Depth of Fill Contours
	(1.5)	Proposed Retaining Wall (Height shown in brackets on lower side)
	XX.XX	Finished Design Surface Level
		Earthworks Pad Extents
		Top of Batter
	\leftarrow	Built to Boundary Location
		Future Development Lot Boundary
	(Not all items lot shown on	Proposed Driveway Location in this legend may be relevant to the this plan)

NOTES

LEGEND

This plan has been prepared from preliminary survey plan (SP348243) and engineering plans provided on the 17/04/24 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have granted operational works approval for the proposed lot.

Lot 353 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

Parts of Lot 353 are subject to areas of fill less than 0.25m in depth.

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Level Datum: AHD der. Origin of Levels: PSM 49894 RL of Origin: 62.350 Contour Interval: 0.25m Scale @A3 1: 200

Dwg No. 9780 S 58 DP A 353

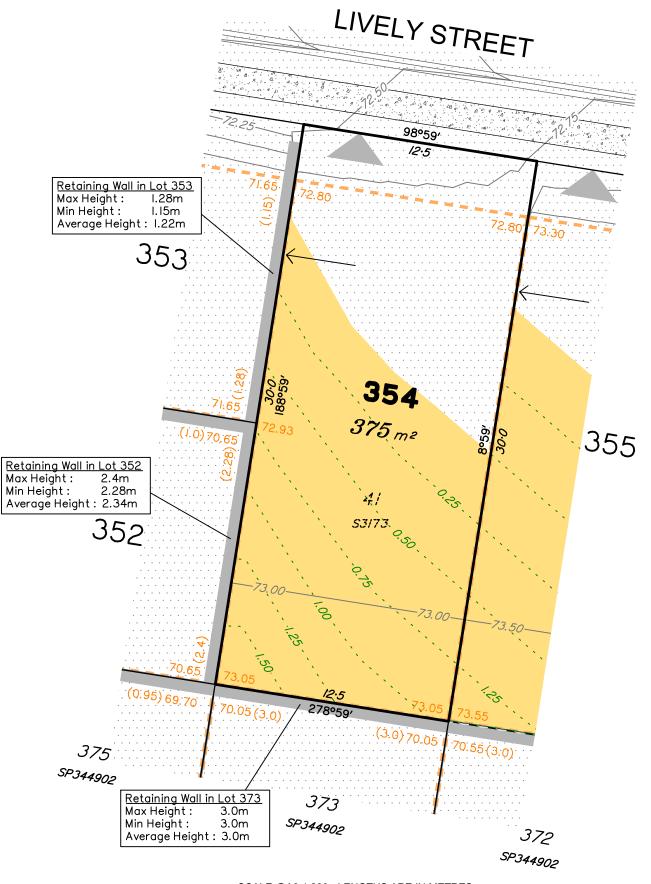


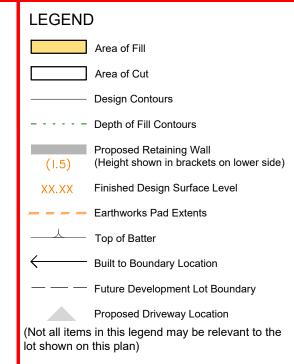
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This plan has been prepared from preliminary survey plan (SP348243) and engineering plans provided on the 17/04/24 by Colliers Engineering & Design.

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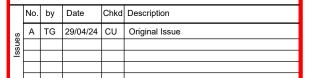
The relevant authorities have granted operational works approval for the proposed lot.

Lot 354 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.





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Disclosure Plan for Proposed Lot 354 (Restricted) on SP348243

Described as part of Lot 1 (Restricted) on RP196152 Existing Title Reference: 16786116, 16786117 & 16786118

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der. Origin of Levels: PSM 49894 RL of Origin: 62.350 Contour Interval: 0.25m Scale @A3 1: 200

Dwg No. 9780 S 58 DP A 354

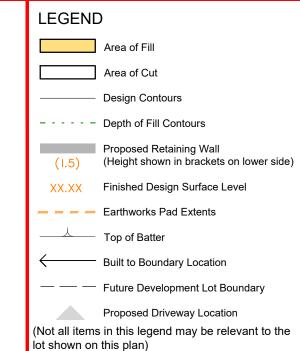


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NOTES

This plan has been prepared from preliminary survey plan (SP348243) and engineering plans provided on the 17/04/24 by Colliers Engineering & Design.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/MAPDA) by the Ipswich City Council (05/03/2024).

The relevant authorities have granted operational works approval for the proposed lot.

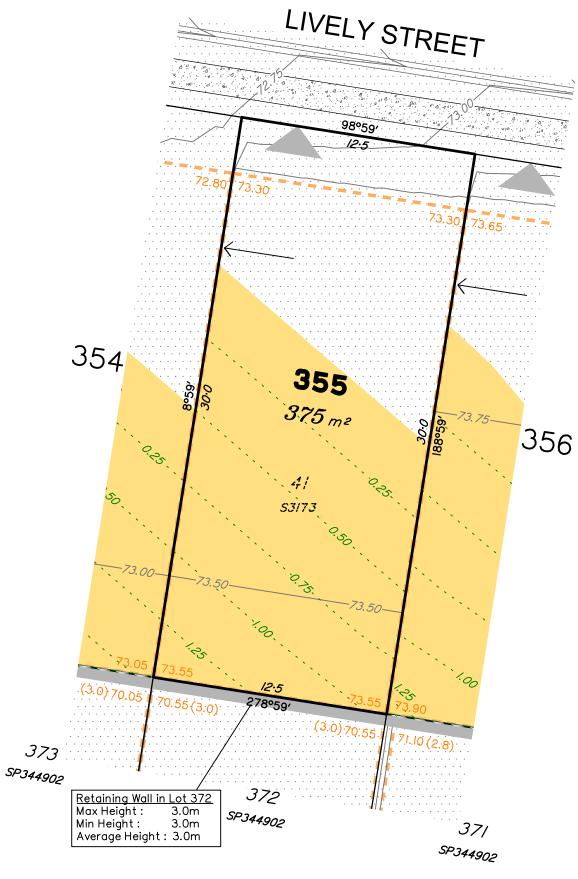
Lot 355 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

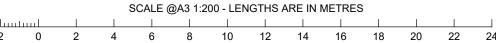
Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

No.	by	Date	Chkd	Description
Α	TG	29/04/24	CU	Original Issue
		<u> </u>		 '







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Disclosure Plan for Proposed Lot 355 (Restricted) on SP348243

Described as part of Lot 1 (Restricted) on RP196152 Existing Title Reference: 16786116, 16786117 & 16786118

Level Datum: AHD der. Origin of Levels: PSM 49894 RL of Origin: 62.350 Contour Interval: 0.25m Scale @A3 1: 200

Dwg No. 9780 S 58 DP A 355

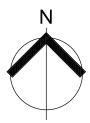


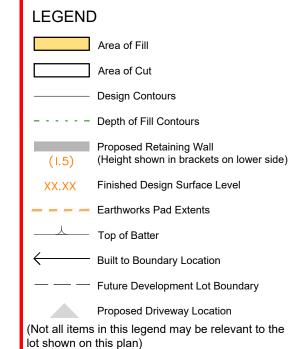
Saunders Havill Group Pty Ltd ABN 24 144 972 949 Brisbane Springfield head office 9 Thompson St Bowen Hills Q 4006 phone 1300 123 SHG web www.saundershavill.com

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Locality of Ripley (Ipswich City Council)







NOTES

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The relevant authorities have granted operational works approval for the proposed lot.

Lot 356 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

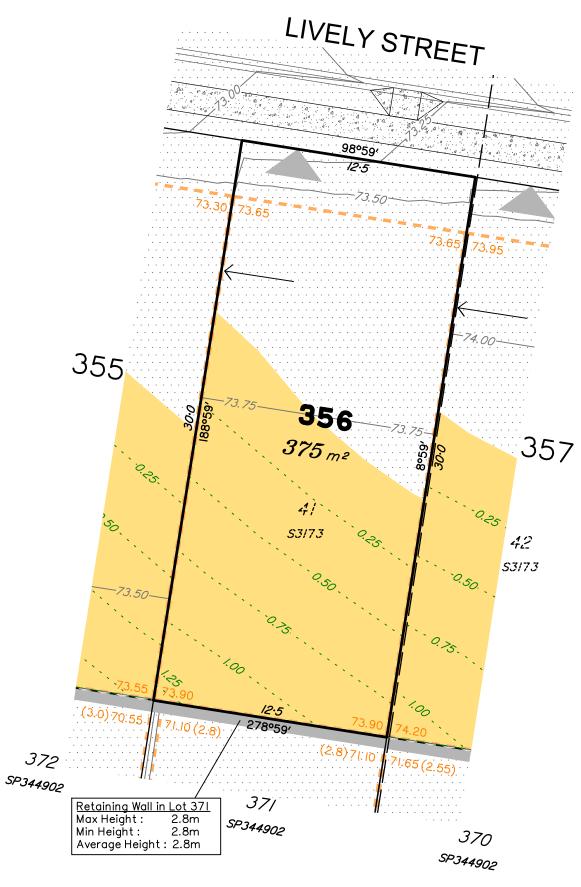
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

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Issues	No.	by	Date	Chkd	Description				
	Α	TG	29/04/24	CU	Original Issue				





SCALE @A3 1:200 - LENGTHS ARE IN METRES 22 18 20

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Disclosure Plan for Proposed Lot 356 (Restricted) on SP348243

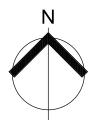
Described as part of Lot 1 (Restricted) on RP196152 Existing Title Reference: 16786116, 16786117 & 16786118

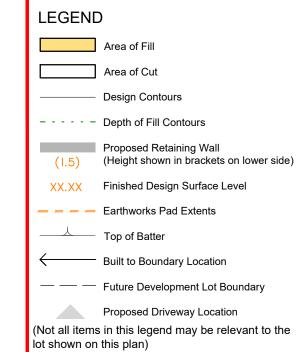
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der. Origin of Levels: PSM 49894 RL of Origin: 62.350 Contour Interval: 0.25m Scale @A3 1: 200









NOTES

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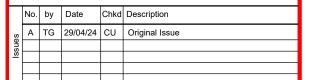
The relevant authorities have granted operational works approval for the proposed lot.

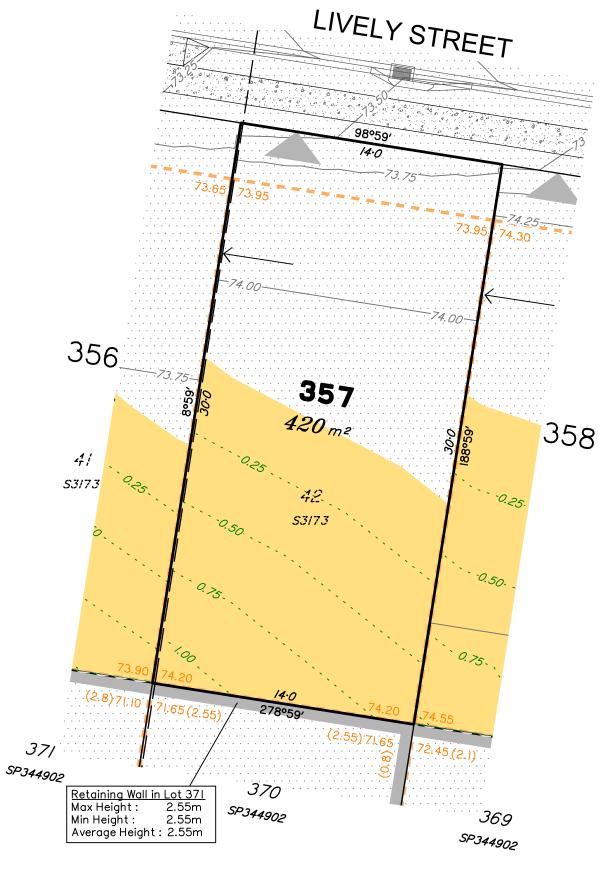
Lot 357 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

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SCALE @A3 1:200 - LENGTHS ARE IN METRES

2 0 2 4 6 8 10 12 14 16 18 20 22 24

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Disclosure Plan for Proposed Lot 357 (Restricted) on SP348243

Described as part of Lot 1 (Restricted) on RP196152 & Lot 3420 (Restricted) on SP334742 Existing Title Reference: 16786116, 16786117, 16786118 & 51333769

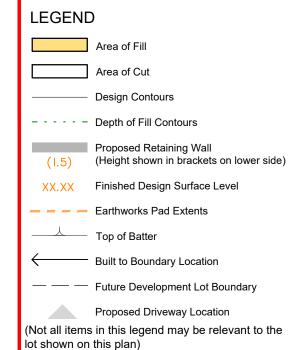
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200

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NOTES

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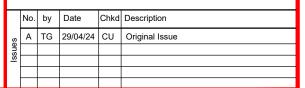
The relevant authorities have granted operational works approval for the proposed lot.

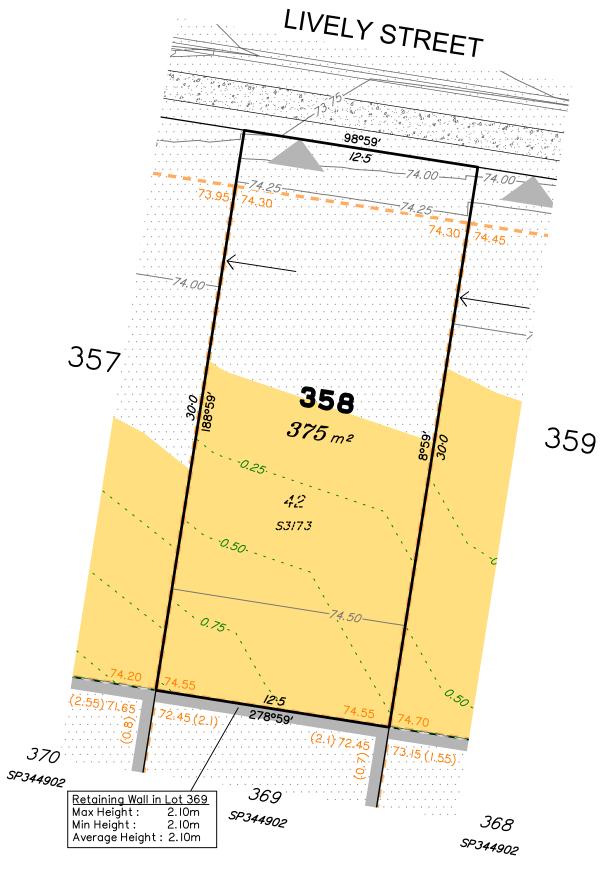
Lot 358 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

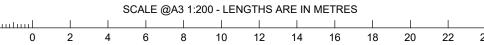
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Disclosure Plan for Proposed Lot 358 (Restricted) on SP348243

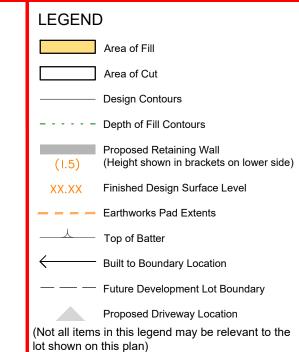
Described as part of Lot 3420 (Restricted) on SP334742
Existing Title Reference: 51333769

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200







NOTES

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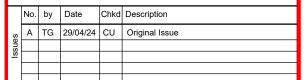
The relevant authorities have granted operational works approval for the proposed lot.

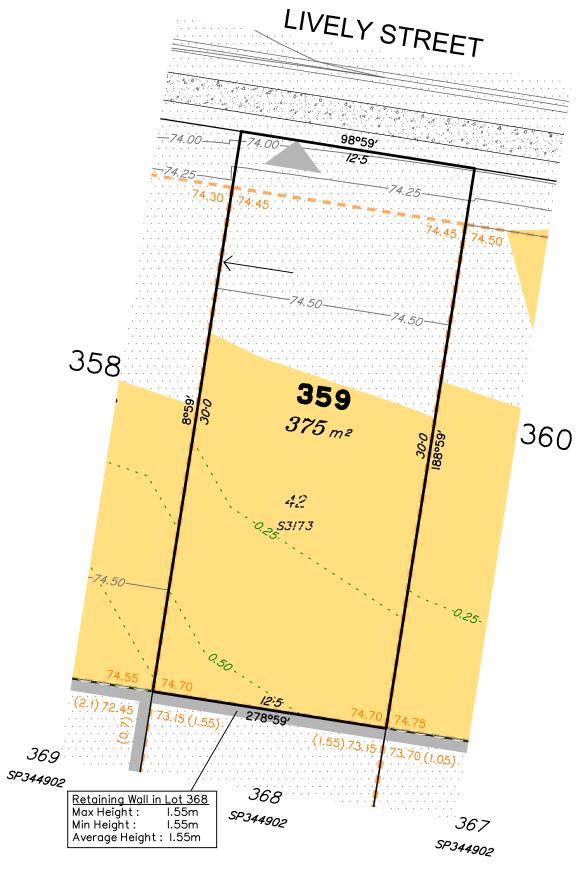
Lot 359 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

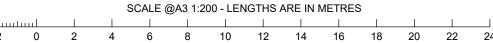
Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Colliers Engineering & Design.

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purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

Disclosure Plan for Proposed Lot 359 (Restricted) on SP348243

Described as part of Lot 3420 (Restricted) on SP334742
Existing Title Reference: 51333769

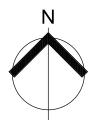
Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200

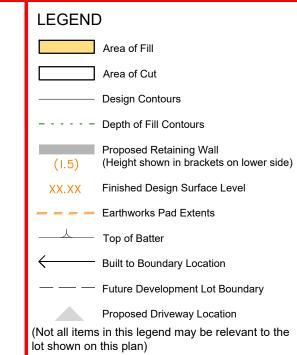
Dwg No. 9780 S 58 DP A_359



Locality of Ripley (Ipswich City Council)







NOTES

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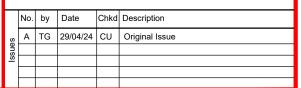
The relevant authorities have granted operational works approval for the proposed lot.

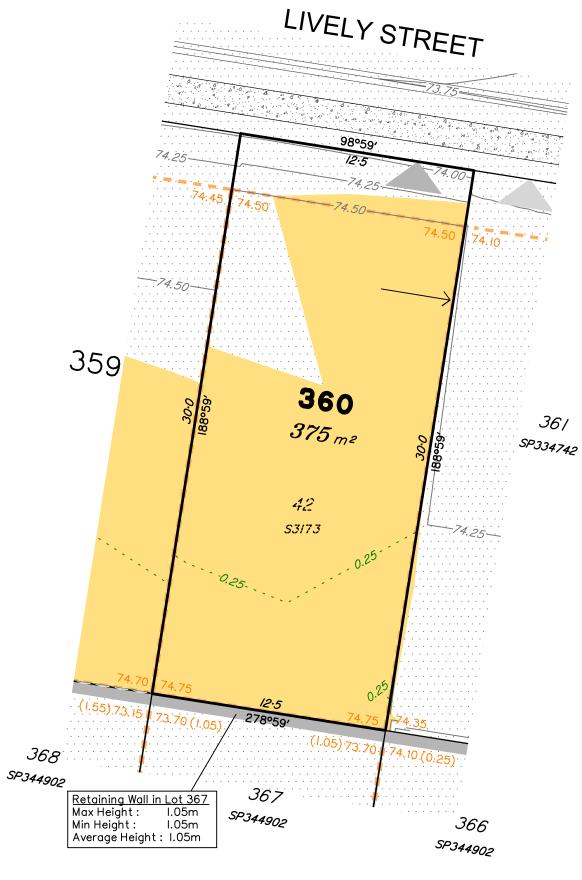
Lot 360 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

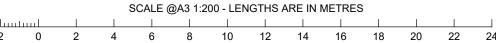
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Disclosure Plan for Proposed Lot 360 (Restricted) on SP348243

Described as part of Lot 3420 (Restricted) on SP334742 Existing Title Reference: 51333769

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der. Origin of Levels: PSM 49894 RL of Origin: 62.350 Contour Interval: 0.25m Scale @A3 1: 200

Dwg No. 9780 S 58 DP A 360



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