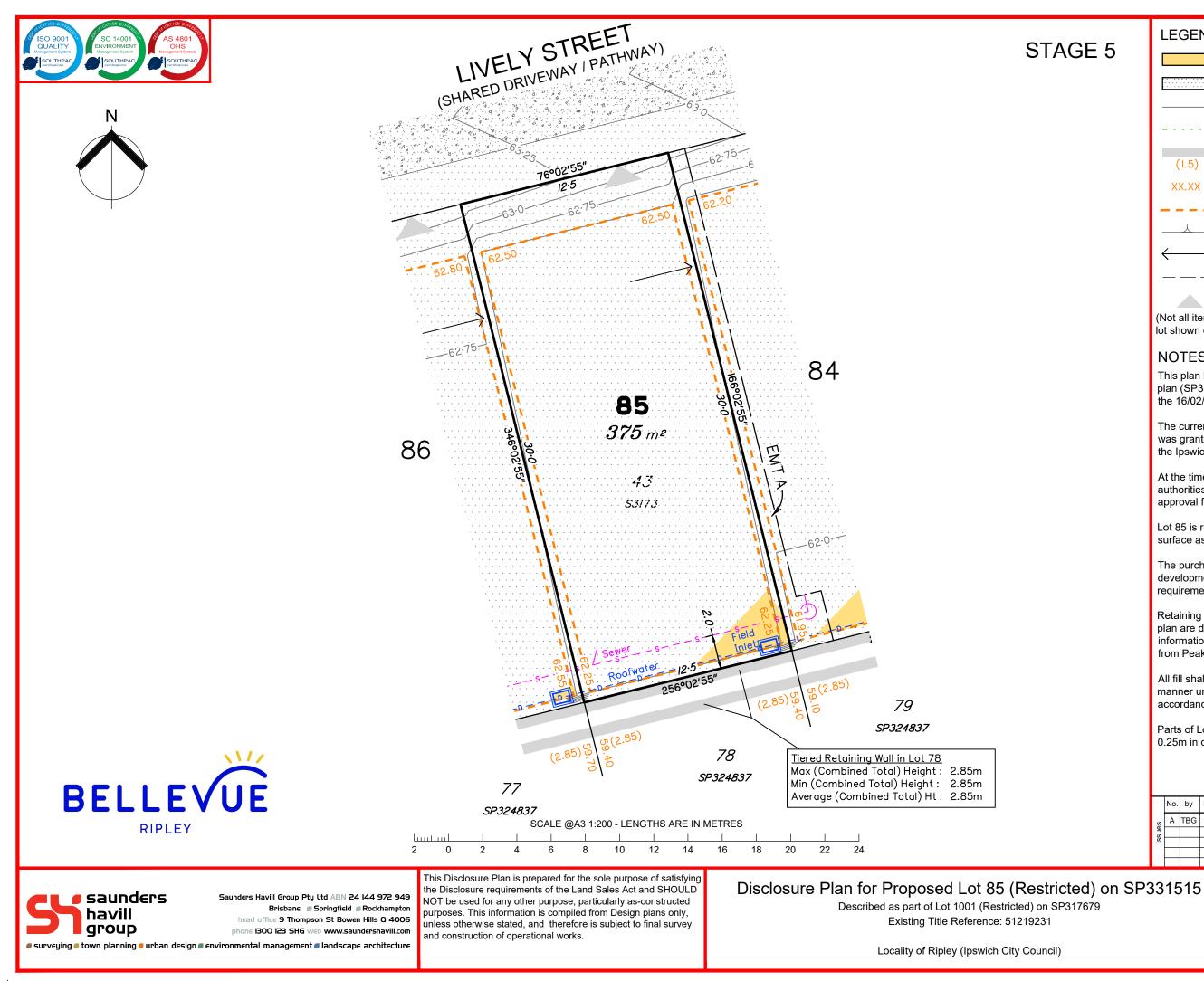


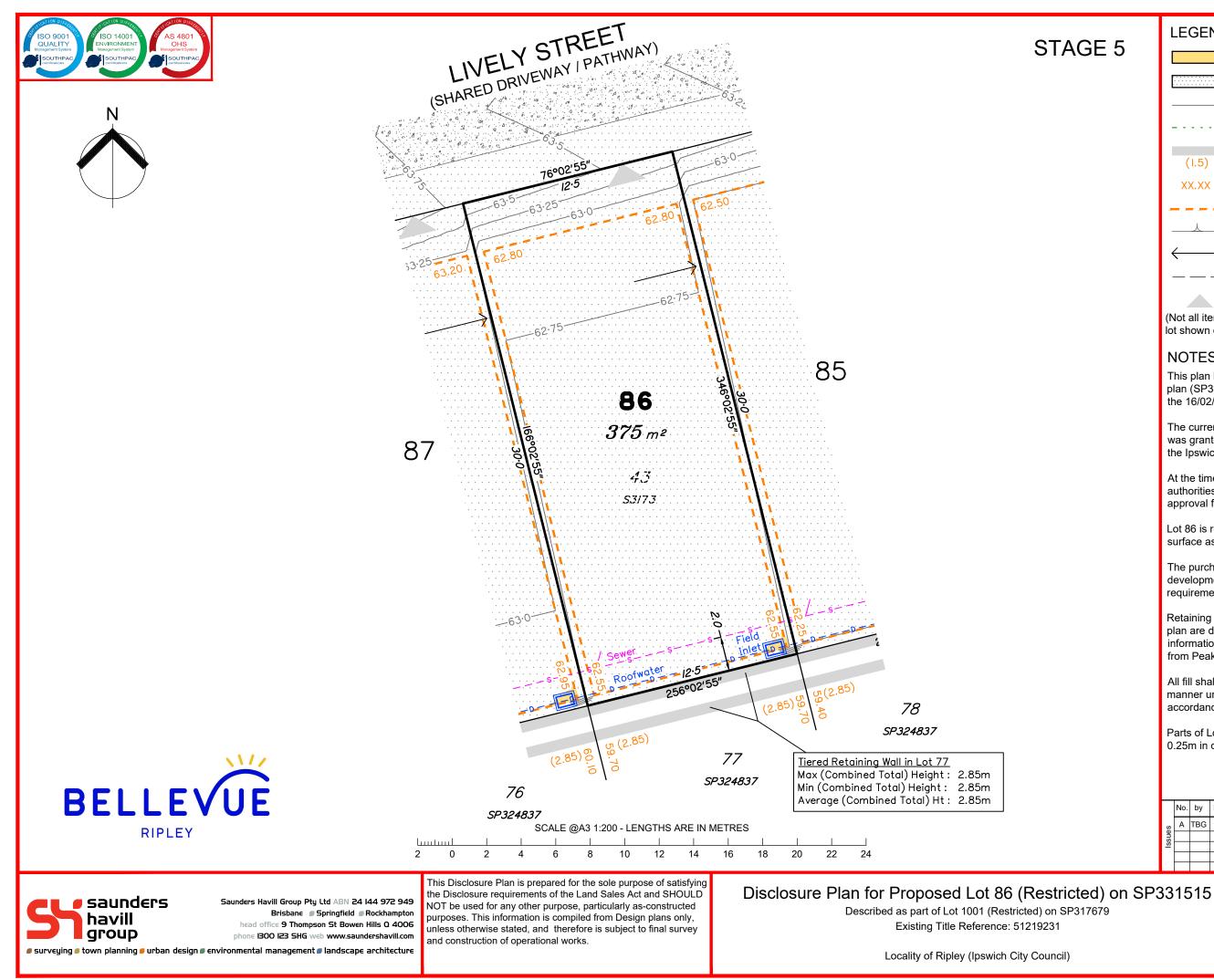
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-			— Fut	ure D	evelopment Lot Boundary	
			Pro	pose	d Driveway Location	
			ems in t on this		egend may be relevant to the ı)	
Ν	10	TE	S			
This plan has been prepared from preliminary survey plan (SP331515) and engineering plans provided on the 16/02/22 by Peak Urban Civil Engineers.						
The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (06/10/2021).						
At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.						
Lot 84 is restricted to a depth of 30.48m from the surface as defined by plan S3173.						
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.						
Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.						
All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.						
Lot 84 contains Easement A on SP331515 for services benefiting Urban Utilities.						
	No.	by	Date	Chkd	Description	
saues	A	TBG	18/02/22	CU	Original Issue	
lss						

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
<u>Scale @A3_1: 200</u>
Dwg No. 9780 S 19 DP A_84



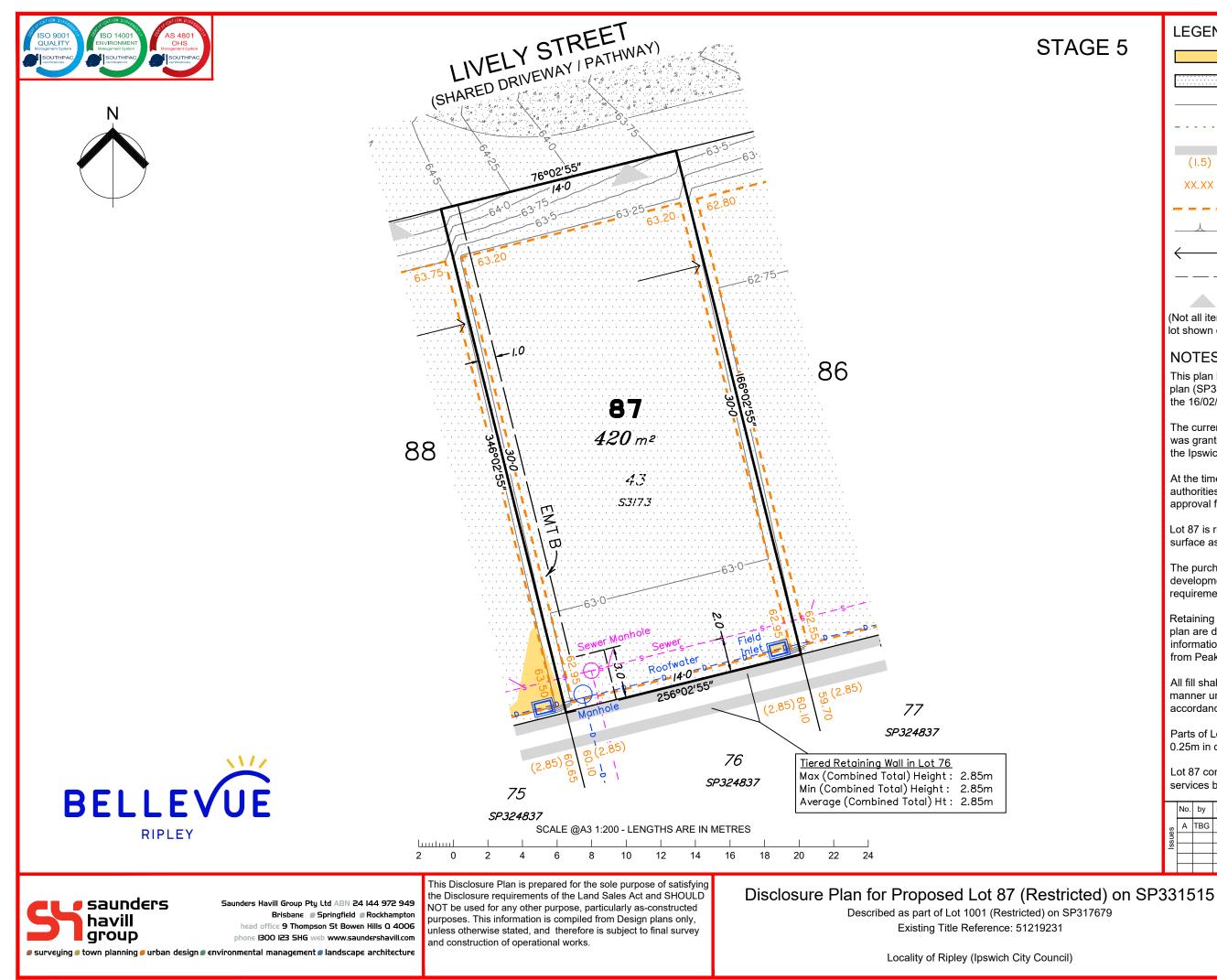
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	X	x.xx	Fini	shed	Design Surface Level		
-	-		🗕 Ear	thwo	rks Pad Extents		
-		Y	— Тор	o of B	atter		
÷	$\leftarrow$		— Buil	t to E	Boundary Location		
-			— Fut	ure D	evelopment Lot Boundary		
			Pro	pose	d Driveway Location		
			ems in t on this		egend may be relevant to the )		
Ν	10	TE	S				
pl	lan	(SP:	331515)	) and	repared from preliminary survey l engineering plans provided on ৻ Urban Civil Engineers.		
The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (06/10/2021).							
At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.							
Lot 85 is restricted to a depth of 30.48m from the surface as defined by plan S3173.							
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.							
Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.							
All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.							
Parts of Lot 85 are subject to areas of fill less than 0.25m in depth.							
	No.	by	Date	Chkd	Description		
				CU	Original Issue		
nes	A	TBG	18/02/22	00			
Issues	A	TBG	18/02/22				

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
<u>Scale @A3_1:200</u>
Dwg No. 9780 S 19 DP A_85

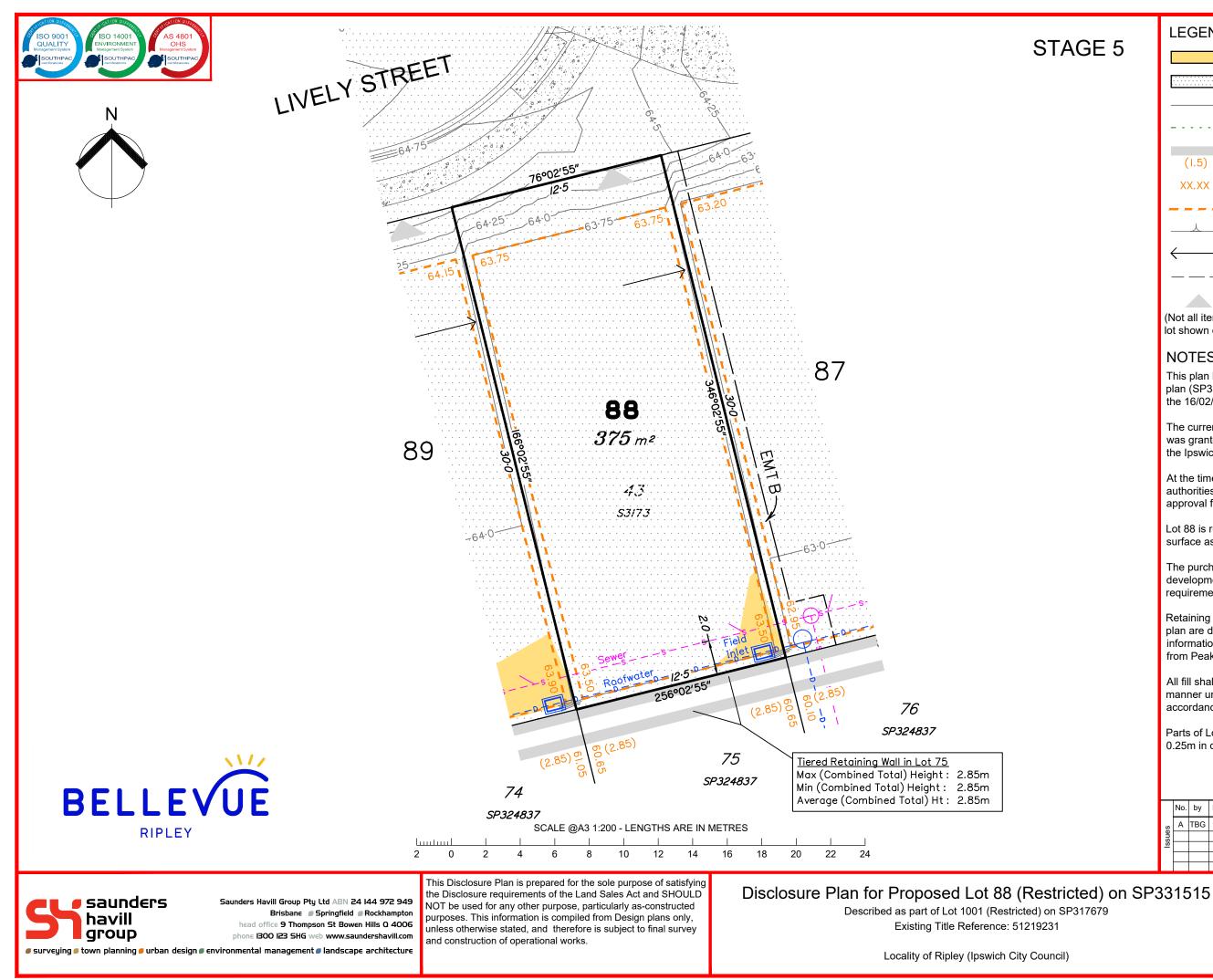


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	- Future [	Development Lot Boundary					
	Propose	ed Driveway Location					
(Not all item lot shown o		egend may be relevant to the n)					
NOTES							
This plan has been prepared from preliminary survey plan (SP331515) and engineering plans provided on the 16/02/22 by Peak Urban Civil Engineers.							
The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (06/10/2021).							
At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.							
Lot 86 is restricted to a depth of 30.48m from the surface as defined by plan S3173.							
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.							
Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.							
All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.							
Parts of Lot 86 are subject to areas of fill less than 0.25m in depth.							
No. by D	ate Chko	Description					
A TBG 18	02/22 CU	Original Issue					
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Level Datum: AHD der.						
Origin of Levels: PSM 49894						
RL of Origin: 62.350						
Contour Interval: 0.25m						
<u>Scale @A3_1: 200</u>						
Dwg No. 9780 S 19 DP A_86						

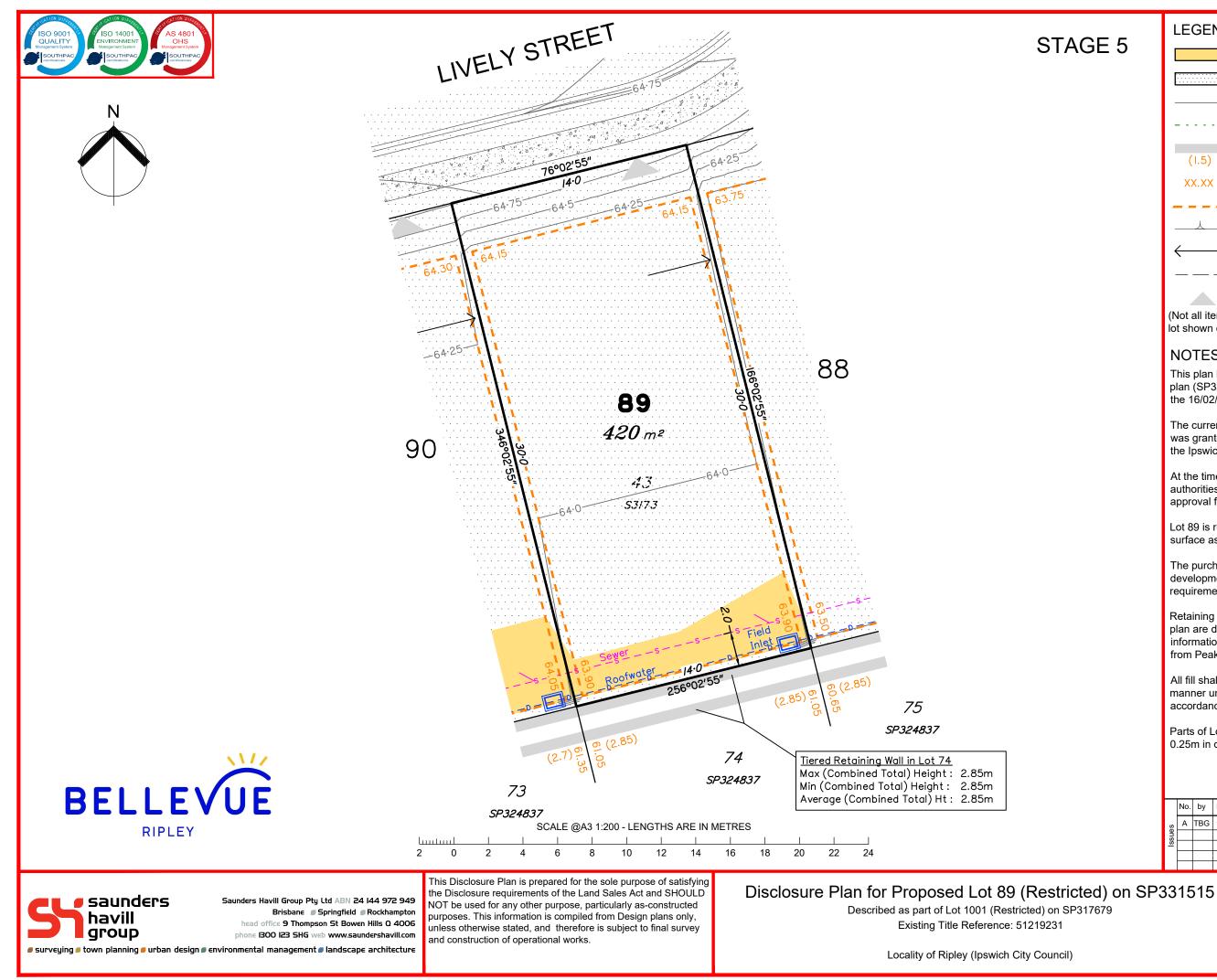


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-	-		– Ear	thwo	rks Pad Extents				
		Y	— Тор	o of B	atter				
•	$\leftarrow$		— Buil	t to E	Boundary Location				
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			Pro	pose	d Driveway Location				
			ems in t on this		egend may be relevant to the )				
Ν	10	TE	S						
р	This plan has been prepared from preliminary survey plan (SP331515) and engineering plans provided on the 16/02/22 by Peak Urban Civil Engineers.								
w	The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (06/10/2021).								
а	At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.								
	Lot 87 is restricted to a depth of 30.48m from the surface as defined by plan S3173.								
d	The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.								
Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.									
All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.									
			_ot 87 a depth.	re sı	ubject to areas of fill less than				
					ment B on SP331515 for rban Utilities.				
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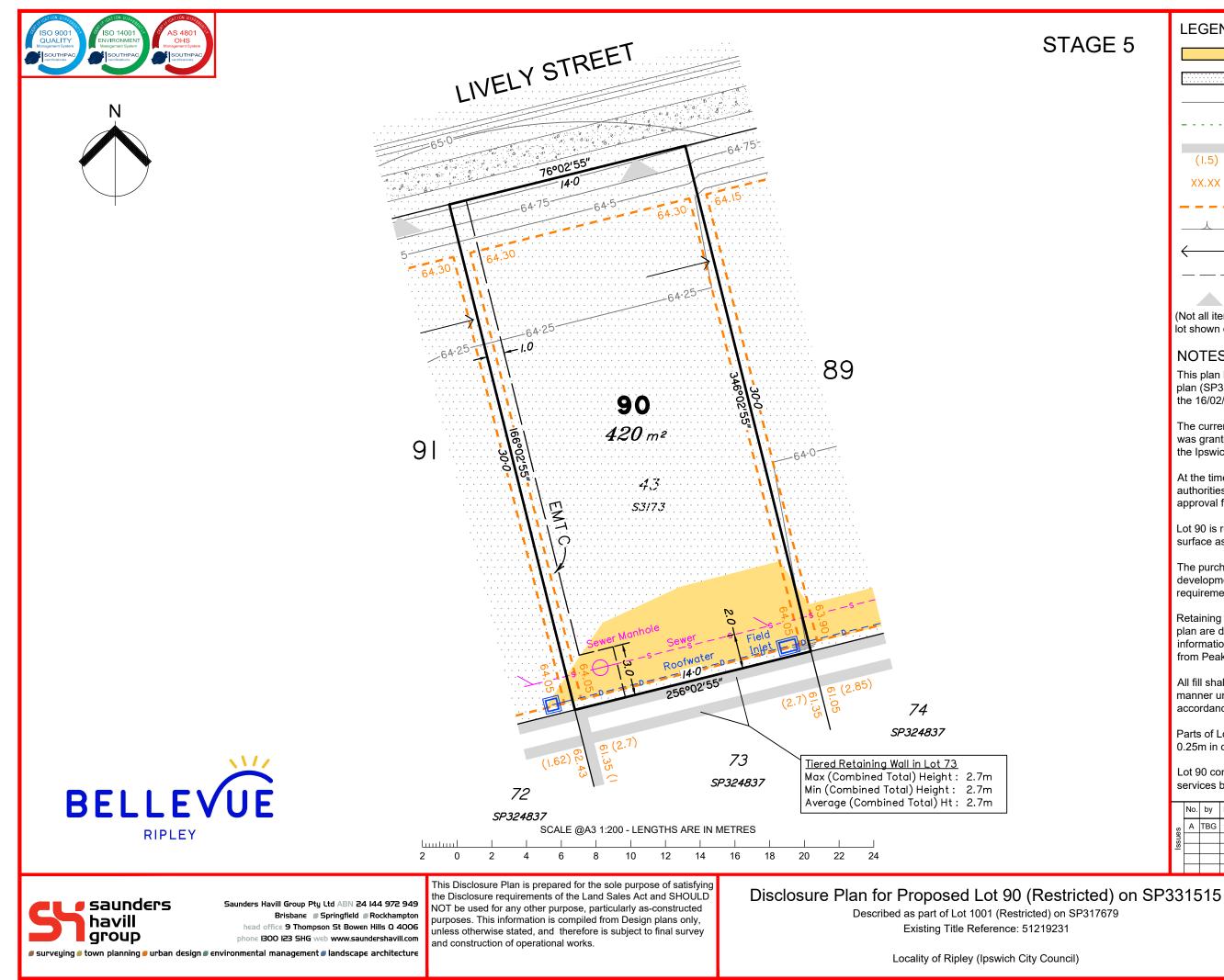
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Design Contours     Depth of Fill Contour     Proposed Retaining     (I.5) Proposed Retaining     (Height shown in bra     XX.XX Finished Design Sur     Earthworks Pad Exte     Top of Batter     Built to Boundary Lo     Future Development     Proposed Driveway     (Not all items in this legend may							
<ul> <li>Depth of Fill Contour</li> <li>Proposed Retaining (Height shown in brack</li> <li>XX.XX</li> <li>Finished Design Sur</li> <li>Earthworks Pad Exter</li> <li>Top of Batter</li> <li>Built to Boundary Lo</li> <li>Future Development</li> <li>Proposed Driveway</li> <li>(Not all items in this legend may</li> </ul>							
<ul> <li>Proposed Retaining (Height shown in bra XX.XX</li> <li>Finished Design Sur</li> <li>Earthworks Pad Exter</li> <li>Top of Batter</li> <li>Built to Boundary Lo</li> <li>Future Development</li> <li>Proposed Driveway</li> <li>(Not all items in this legend may</li> </ul>							
<ul> <li>(I.5) (Height shown in brack</li> <li>XX.XX Finished Design Sur</li> <li>Earthworks Pad Exter</li> <li>Top of Batter</li> <li>Built to Boundary Lo</li> <li>Future Development</li> <li>Proposed Driveway</li> <li>(Not all items in this legend may</li> </ul>	rs						
<ul> <li>Earthworks Pad Exter</li> <li>Top of Batter</li> <li>Built to Boundary Lo</li> <li>Future Development</li> <li>Proposed Driveway</li> <li>(Not all items in this legend may</li> </ul>	Wall ackets on lower side)						
Top of Batter     Top of Batter     Built to Boundary Lo     Proposed Driveway (Not all items in this legend may	face Level						
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Future Development     Proposed Driveway (Not all items in this legend may							
Proposed Driveway (Not all items in this legend may	cation						
(Not all items in this legend may	Lot Boundary						
	Location						
	be relevant to the						
NOTES							
This plan has been prepared from preliminary survey plan (SP331515) and engineering plans provided on the 16/02/22 by Peak Urban Civil Engineers.							
The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (06/10/2021).							
At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.							
Lot 88 is restricted to a depth of 30.48m from the surface as defined by plan S3173.							
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.							
Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.							
All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.							
Parts of Lot 88 are subject to areas of fill less than 0.25m in depth.							
No. by Date Chkd Description							
A TBG 18/02/22 CU Original Issue							

Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
<u>Scale @A3_1: 200</u>
Dwg No. 9780 S 19 DP A_88



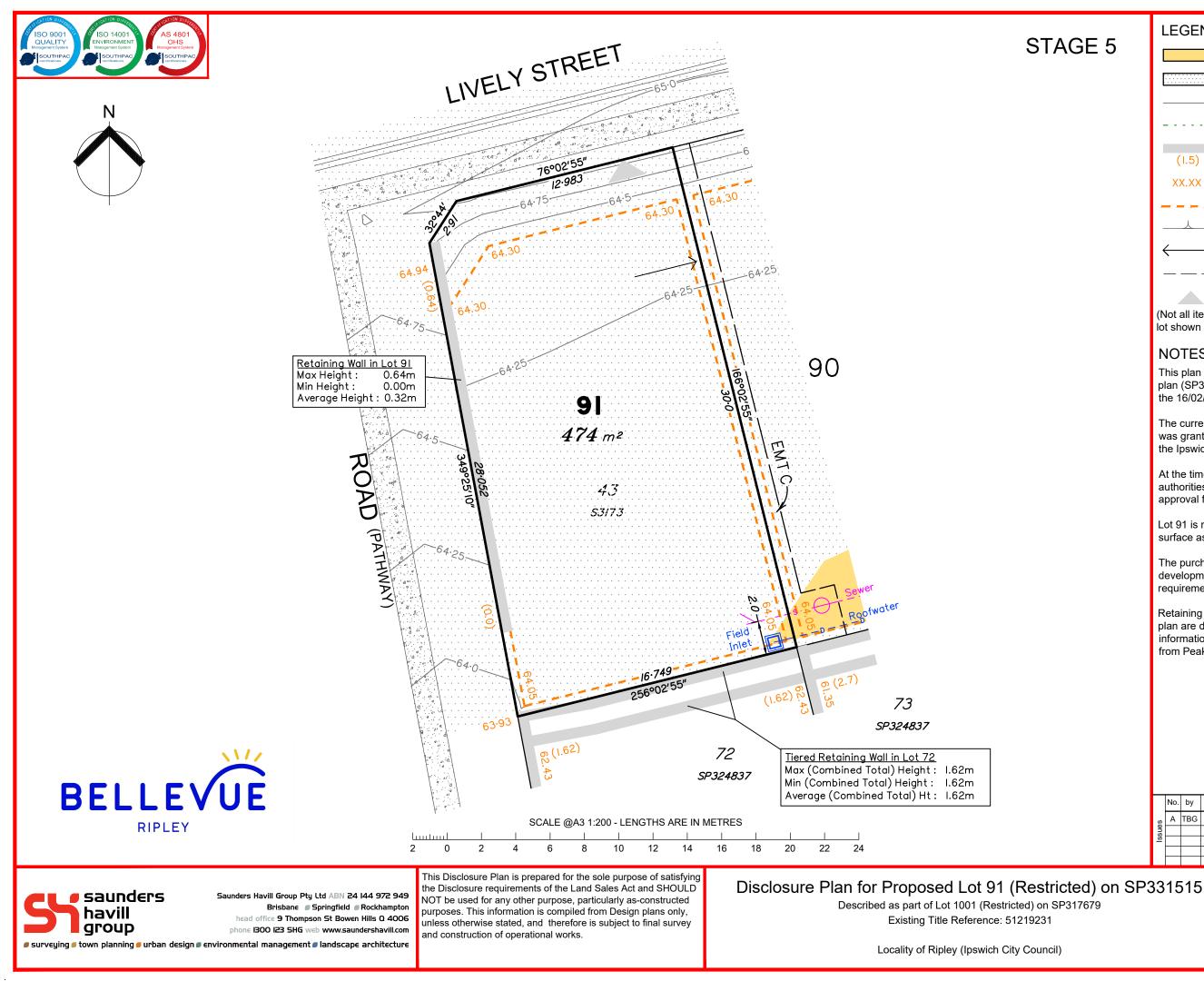
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	No.	by	Date		Chkd	Description	
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0.25m in depth.							
Parts of Lot 89 are subject to areas of fill less than 0.25m in depth							
All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.							
information refer to the relevant earthworks drawings from Peak Urban.							
pla	an a	are o	diagi	ram	mati	ns and thickness shown on this c. For detailed design	
de	The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.						
	Lot 89 is restricted to a depth of 30.48m from the surface as defined by plan S3173.						
au	At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.						
wa	The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (06/10/2021).						
Tł pla	nis an i	plan (SP3	has 3315	515)	and	repared from preliminary survey l engineering plans provided on c Urban Civil Engineers.	
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			ems	in t	his le	egend may be relevant to the	
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Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
<u>Scale @A3_1:200</u>
Dwg No. 9780 S 19 DP A_89



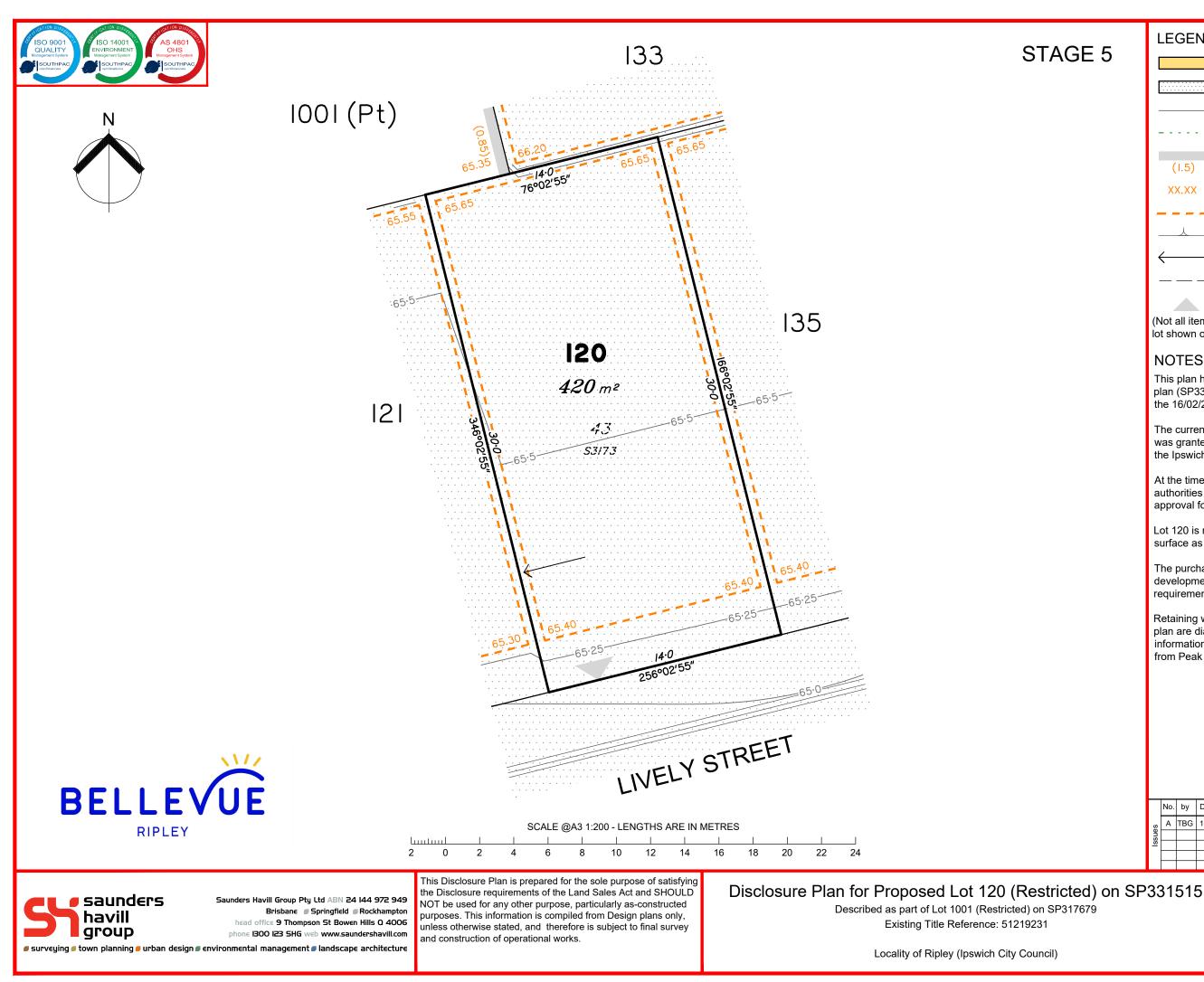
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				en p	repared from preliminary survey				
plan (SP331515) and engineering plans provided on the 16/02/22 by Peak Urban Civil Engineers.									
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The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (06/10/2021).									
At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.									
Lot 90 is restricted to a depth of 30.48m from the surface as defined by plan S3173.									
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.									
Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.									
All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.									
Parts of Lot 90 are subject to areas of fill less than 0.25m in depth.									
Lot 90 contains Easement C on SP331515 for									
services benefiting Urban Utilities.									
	No. A	by TBG	Date 18/02/22	Chkd	Description Original Issue				
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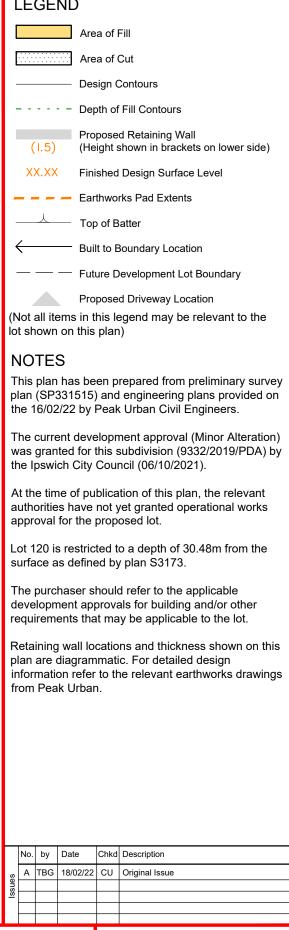


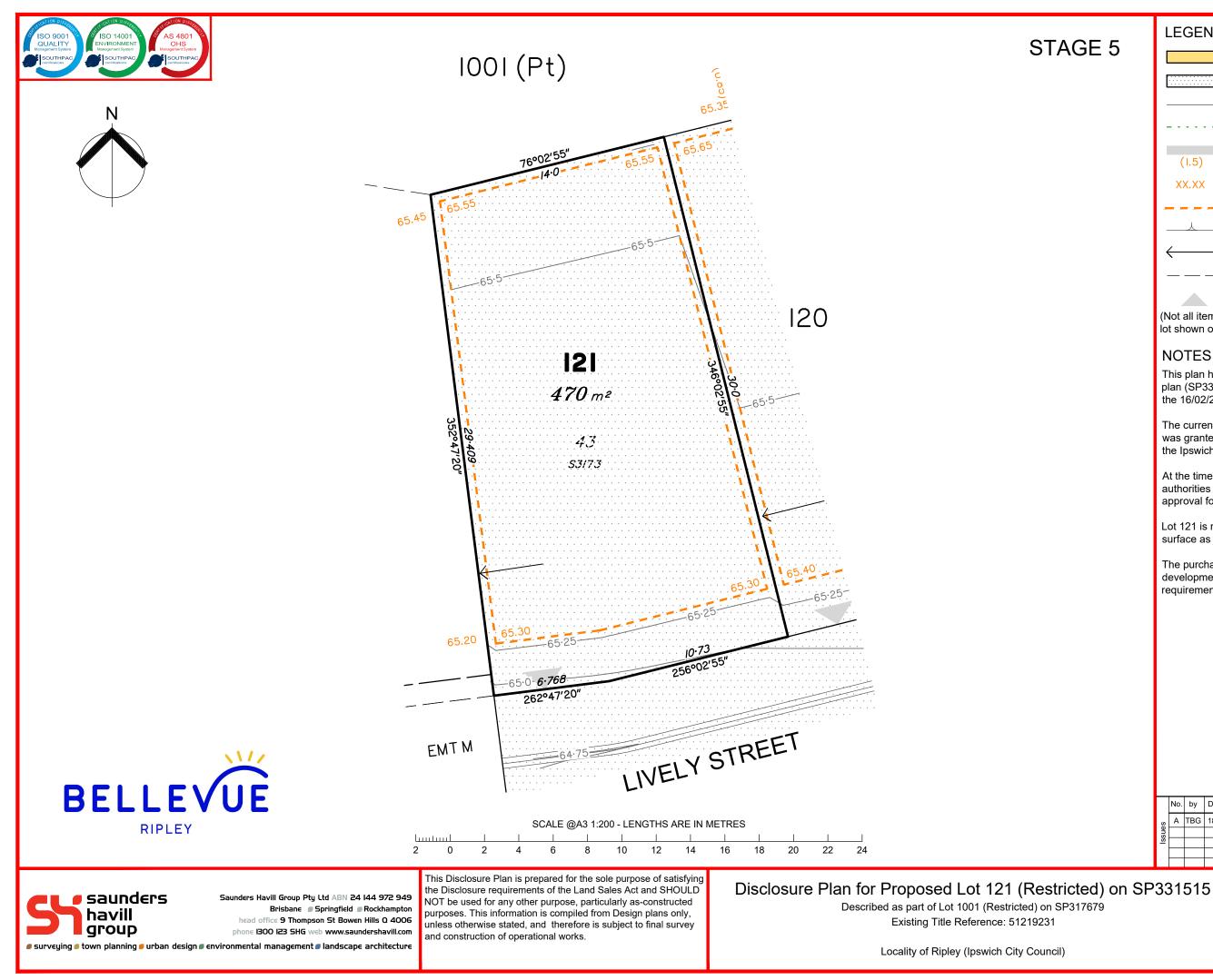


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р	lan	(SP:	331515)	) and	repared from preliminary survey l engineering plans provided on c Urban Civil Engineers.
٧	vas	gran	ted for	this s	nent approval (Minor Alteration) subdivision (9332/2019/PDA) by ncil (06/10/2021).
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					a depth of 30.48m from the / plan S3173.
d	leve	lopn	nent app	orova	d refer to the applicable als for building and/or other y be applicable to the lot.
p ii	lan nfor	are o matio	diagram	mati to th	ns and thickness shown on this c. For detailed design ne relevant earthworks drawings
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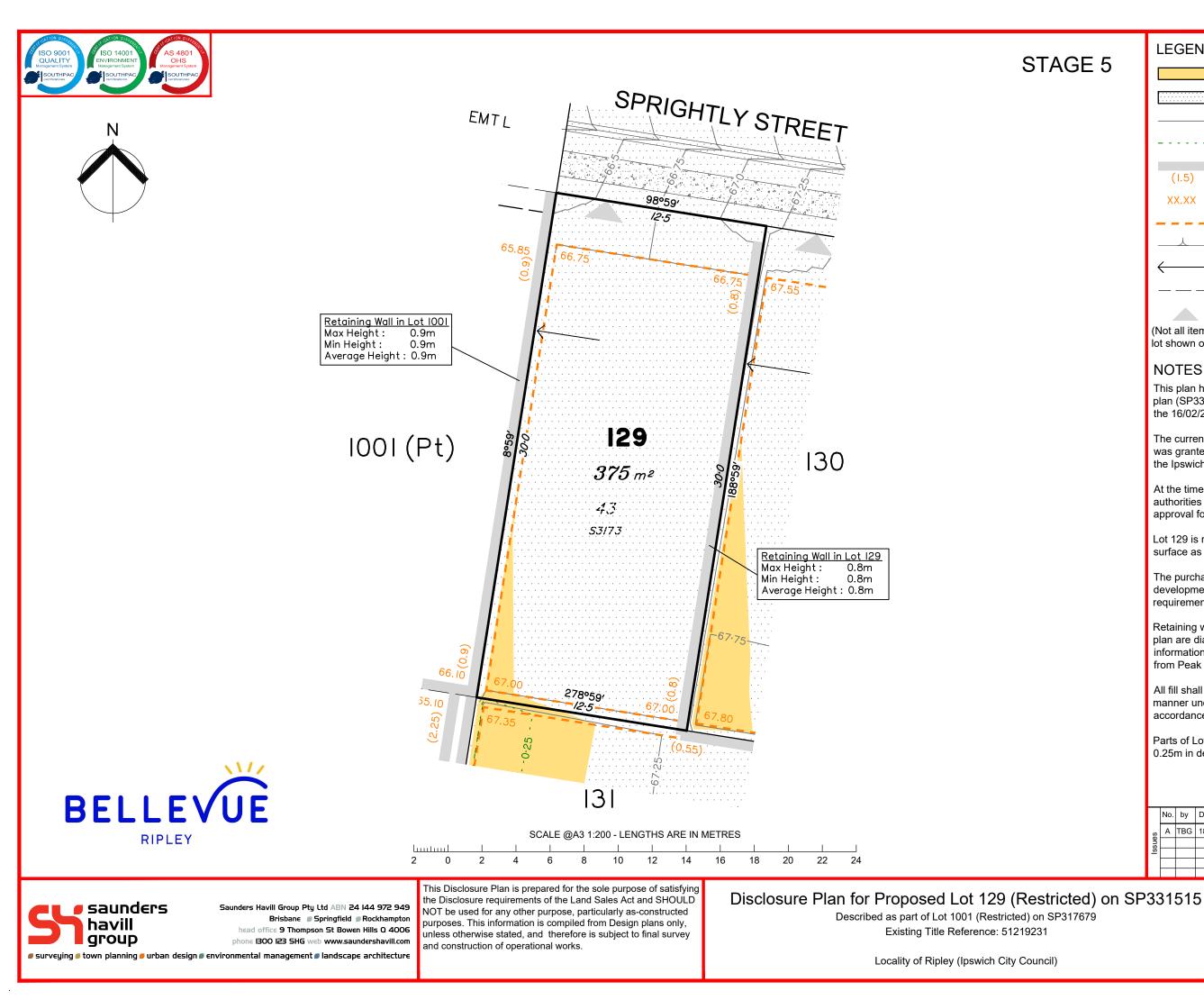






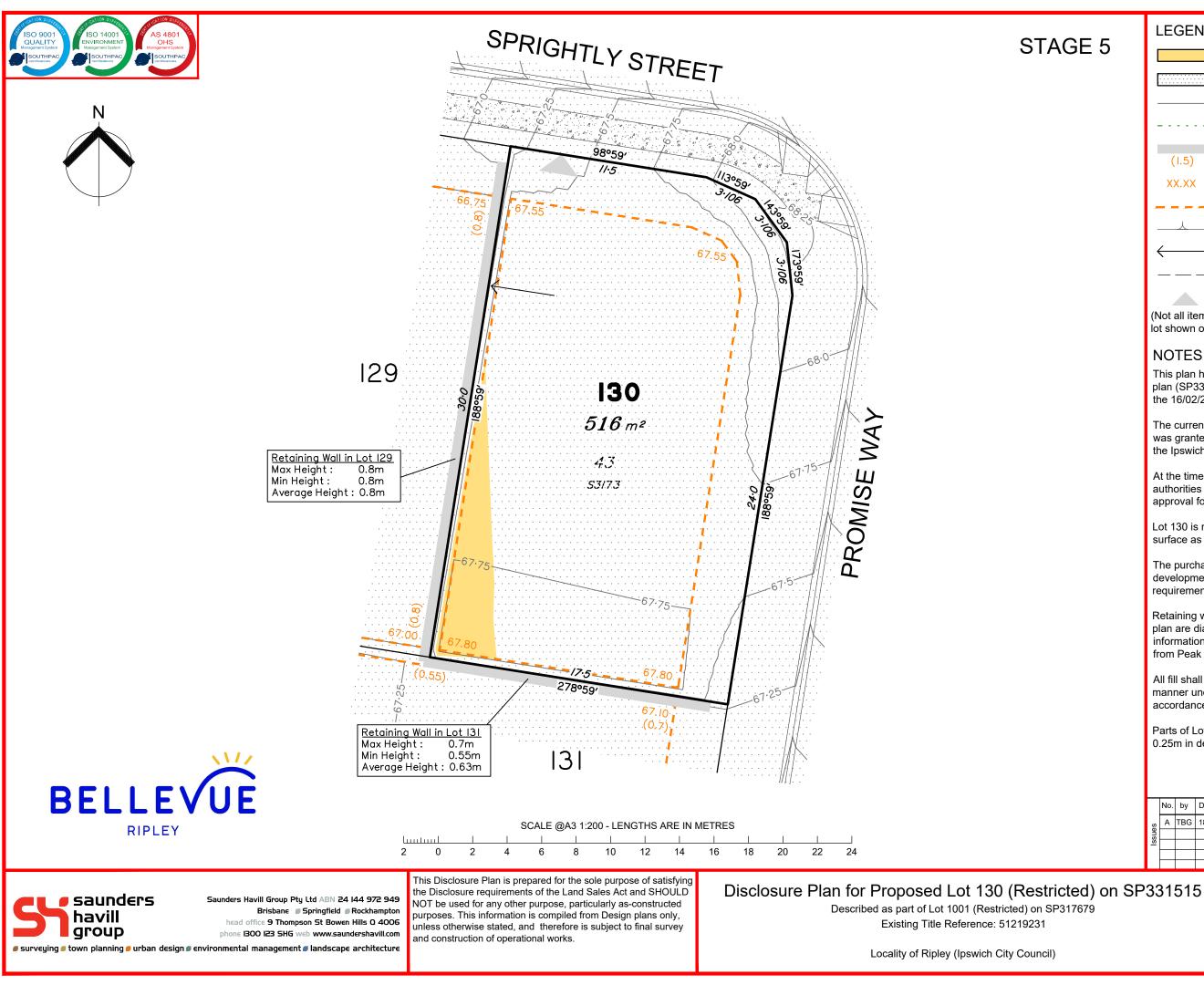
LEGEND	
<i>µ</i>	Area of Fill
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C	Design Contours
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	Proposed Retaining Wall Height shown in brackets on lower side)
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r	Top of Batter
< Е	Built to Boundary Location
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	Proposed Driveway Location n this legend may be relevant to the nis plan)
NOTES	
plan (SP3315	been prepared from preliminary survey 15) and engineering plans provided on by Peak Urban Civil Engineers.
was granted for	evelopment approval (Minor Alteration) or this subdivision (9332/2019/PDA) by ty Council (06/10/2021).
authorities hav	publication of this plan, the relevant ve not yet granted operational works ne proposed lot.
	ricted to a depth of 30.48m from the fined by plan S3173.
development a	r should refer to the applicable approvals for building and/or other that may be applicable to the lot.

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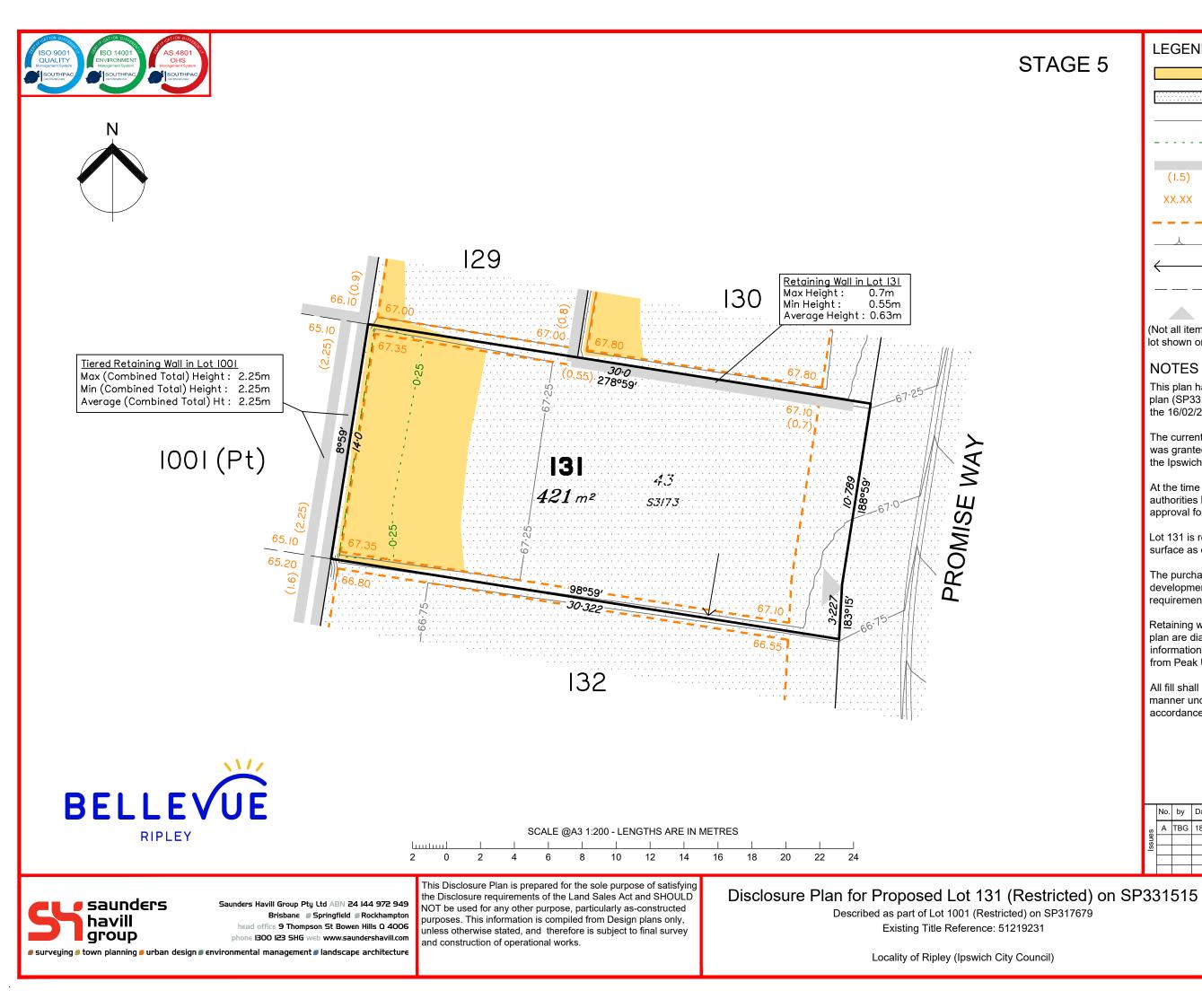
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L		Future I	Development Lot Boundary
L		Propose	ed Driveway Location
	Not all items ot shown or		legend may be relevant to the n)
L	NOTES		
	plan (SP331	515) an	prepared from preliminary survey d engineering plans provided on k Urban Civil Engineers.
	was granted	l for this	ment approval (Minor Alteration) subdivision (9332/2019/PDA) by ıncil (06/10/2021).
		ave not	ation of this plan, the relevant yet granted operational works posed lot.
			to a depth of 30.48m from the y plan S3173.
	developmer	it approv	ld refer to the applicable rals for building and/or other ay be applicable to the lot.
	plan are dia	grammat refer to t	ons and thickness shown on this tic. For detailed design he relevant earthworks drawings
		er Level	d and compacted in a controlled 1 supervision and certification in 3798-2007.
	Parts of Lot 0.25m in de		subject to areas of fill less than
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	A TBG 18/	02/22 CU	Original Issue
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Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3_1: 200
Dwg No. 9780 S 19 DP A_129



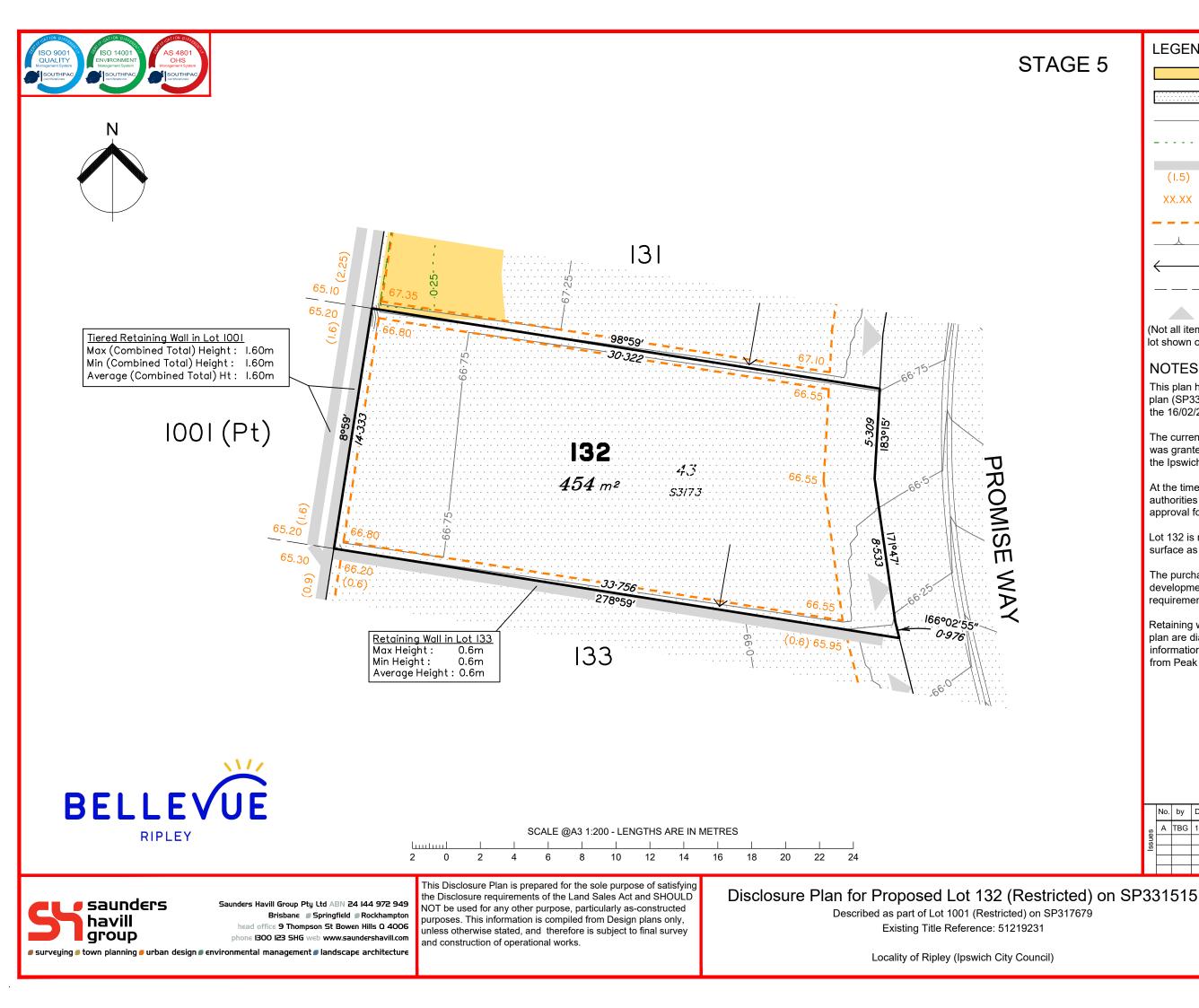
l '					
] [			Are	a of I	Fill
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-	-	-	– Ear	thwo	rks Pad Extents
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			ems in t on this		egend may be relevant to the
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p	lan	(SP:	331515)	and	l engineering plans provided on
			2		CUrban Civil Engineers.
w	as	gran	ted for t	this s	nent approval (Minor Alteration) subdivision (9332/2019/PDA) by ncil (06/10/2021).
а	uth	oritie	s have	not y	tion of this plan, the relevant /et granted operational works osed lot.
					o a depth of 30.48m from the / plan S3173.
d	eve	lopn	nent app	orova	d refer to the applicable als for building and/or other by be applicable to the lot.
p ir	lan Ifor	are o matio	diagram	imati to th	ons and thickness shown on this ic. For detailed design ne relevant earthworks drawings
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Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3 1: 200
Dwg No. 9780 S 19 DP A_130

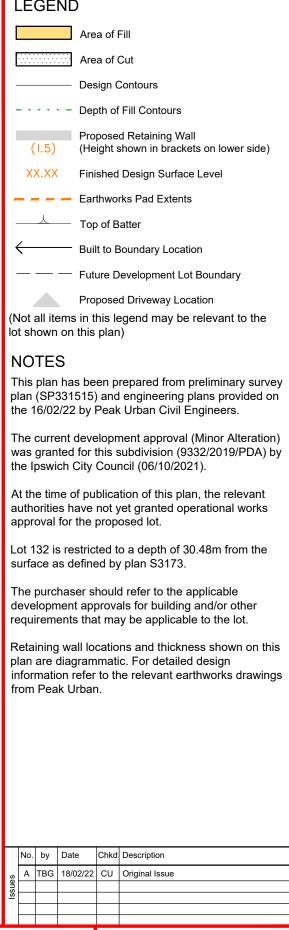


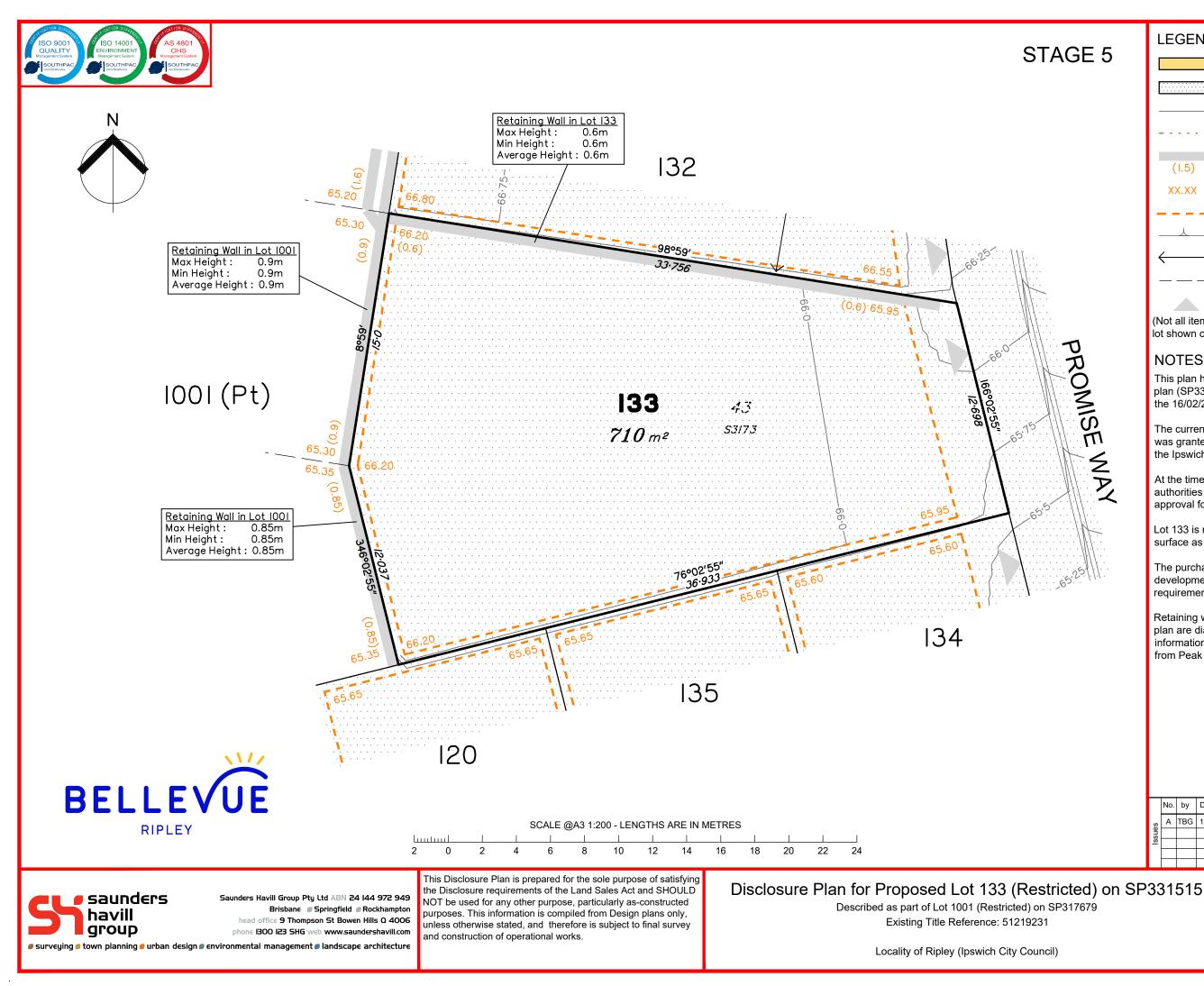
I			Are	a of I	Fill
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p	lan	(SP:	331515)	and	repared from preliminary survey l engineering plans provided on c Urban Civil Engineers.
w	as	gran	ted for	this s	nent approval (Minor Alteration) subdivision (9332/2019/PDA) by ncil (06/10/2021).
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m	nanı	ner u	under Le	evel	and compacted in a controlled 1 supervision and certification in 798-2007.
	No.	by	Date	Chkd	Description
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Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
Scale @A3_1: 200
Dwg No. 9780 S 19 DP A_131



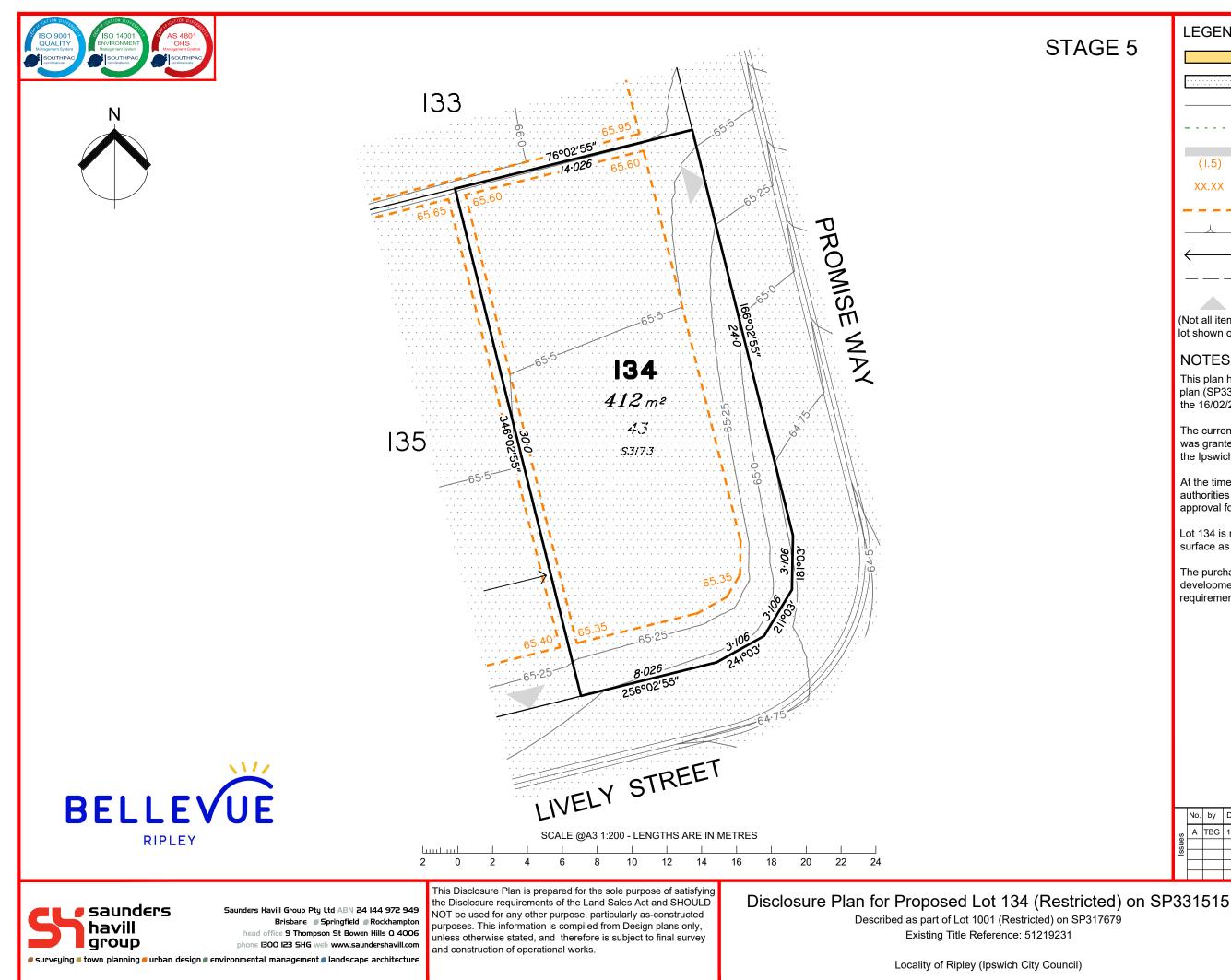




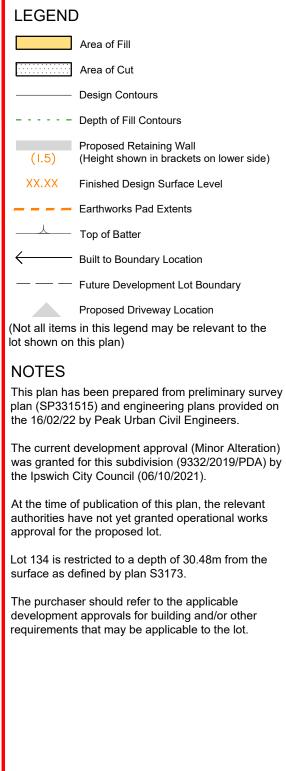


	LEGEND
5	Area of Fill
	Area of Cut
	Design Contours
	Depth of Fill Contours
	(I.5) Proposed Retaining Wall (Height shown in brackets on lower side)
	XX.XX Finished Design Surface Level
	Earthworks Pad Extents
	────────── Top of Batter
	Built to Boundary Location
	— — Future Development Lot Boundary
	Proposed Driveway Location (Not all items in this legend may be relevant to the lot shown on this plan)
	NOTES
	This plan has been prepared from preliminary survey plan (SP331515) and engineering plans provided on the 16/02/22 by Peak Urban Civil Engineers.
NAT WAY	The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (06/10/2021).
YAY	At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.
	Lot 133 is restricted to a depth of 30.48m from the surface as defined by plan S3173.
	The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.
	Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

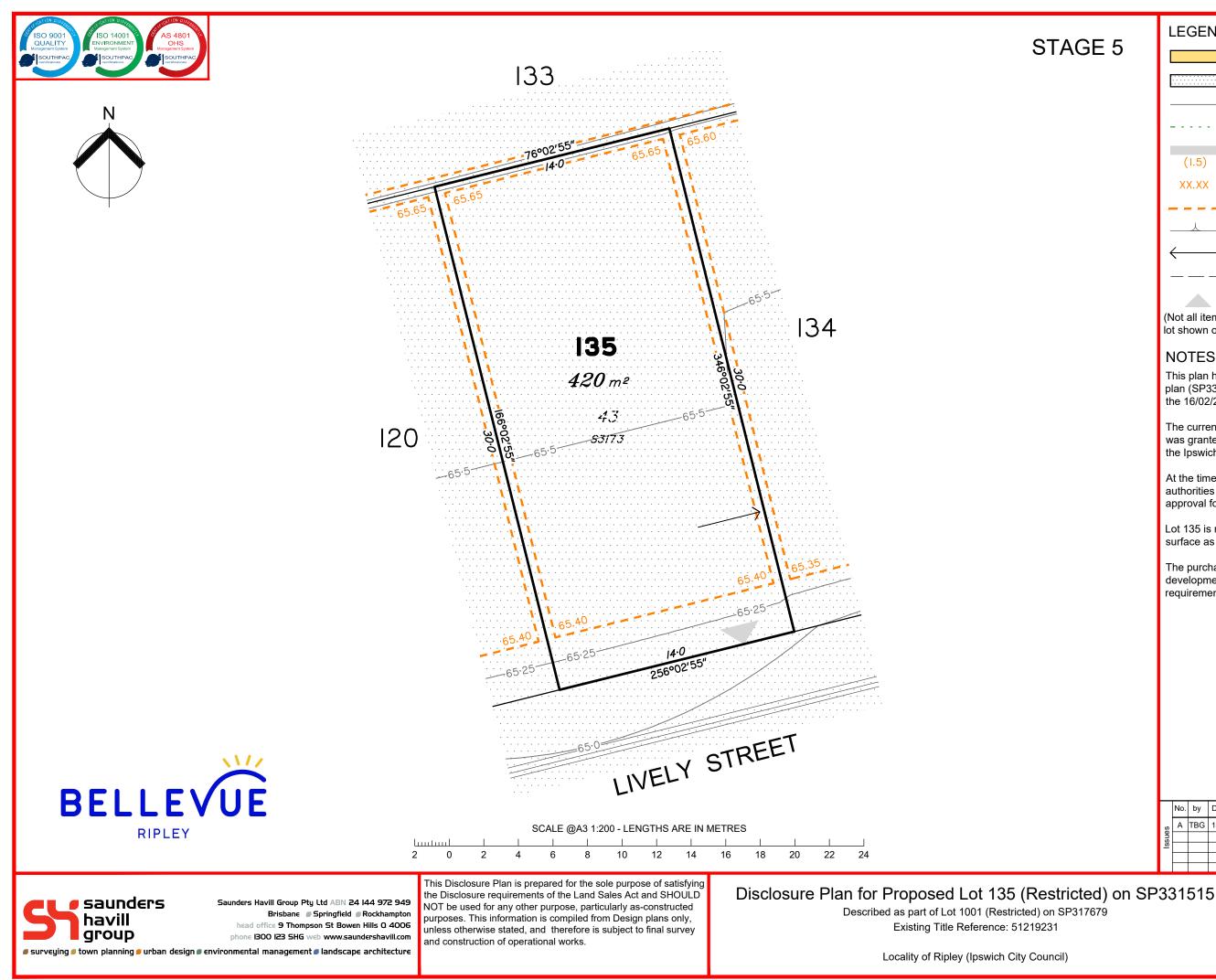
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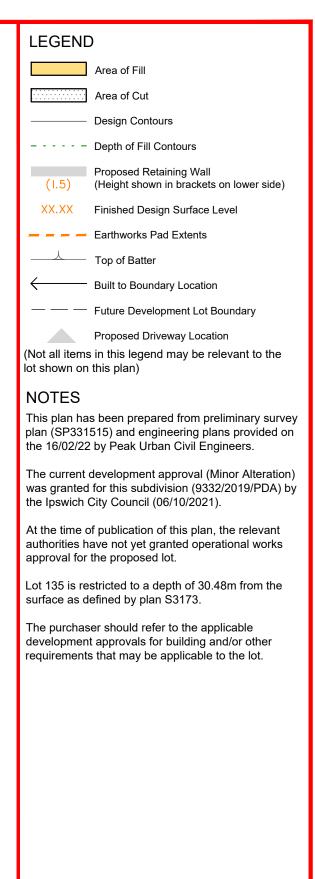


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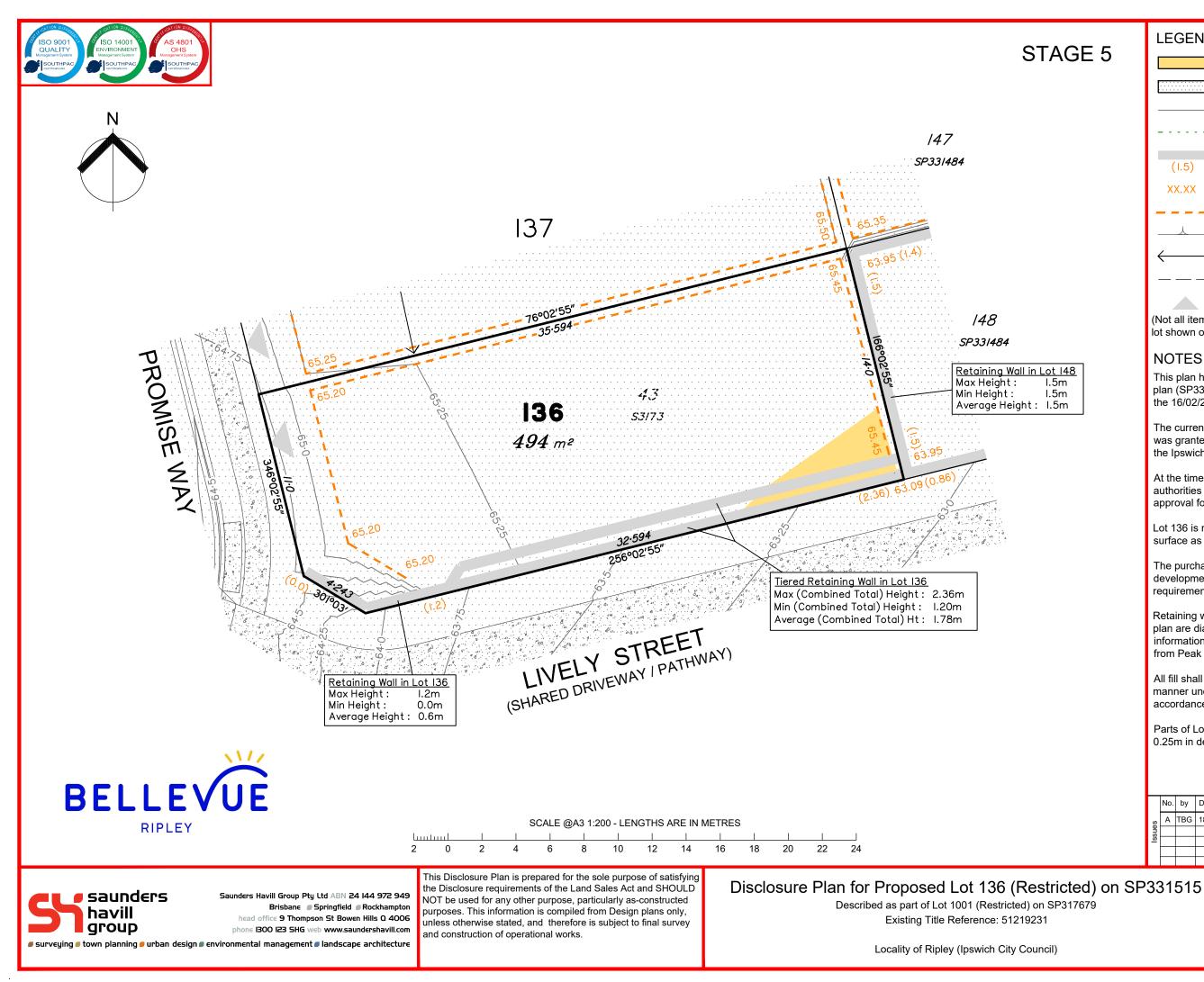


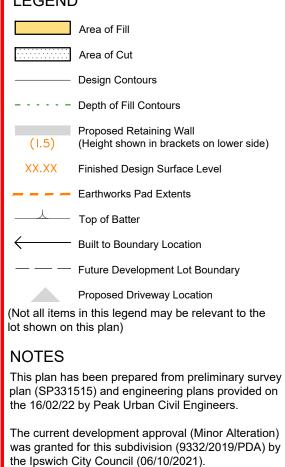
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	No.	by	Date	Chkd	Description
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At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 136 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

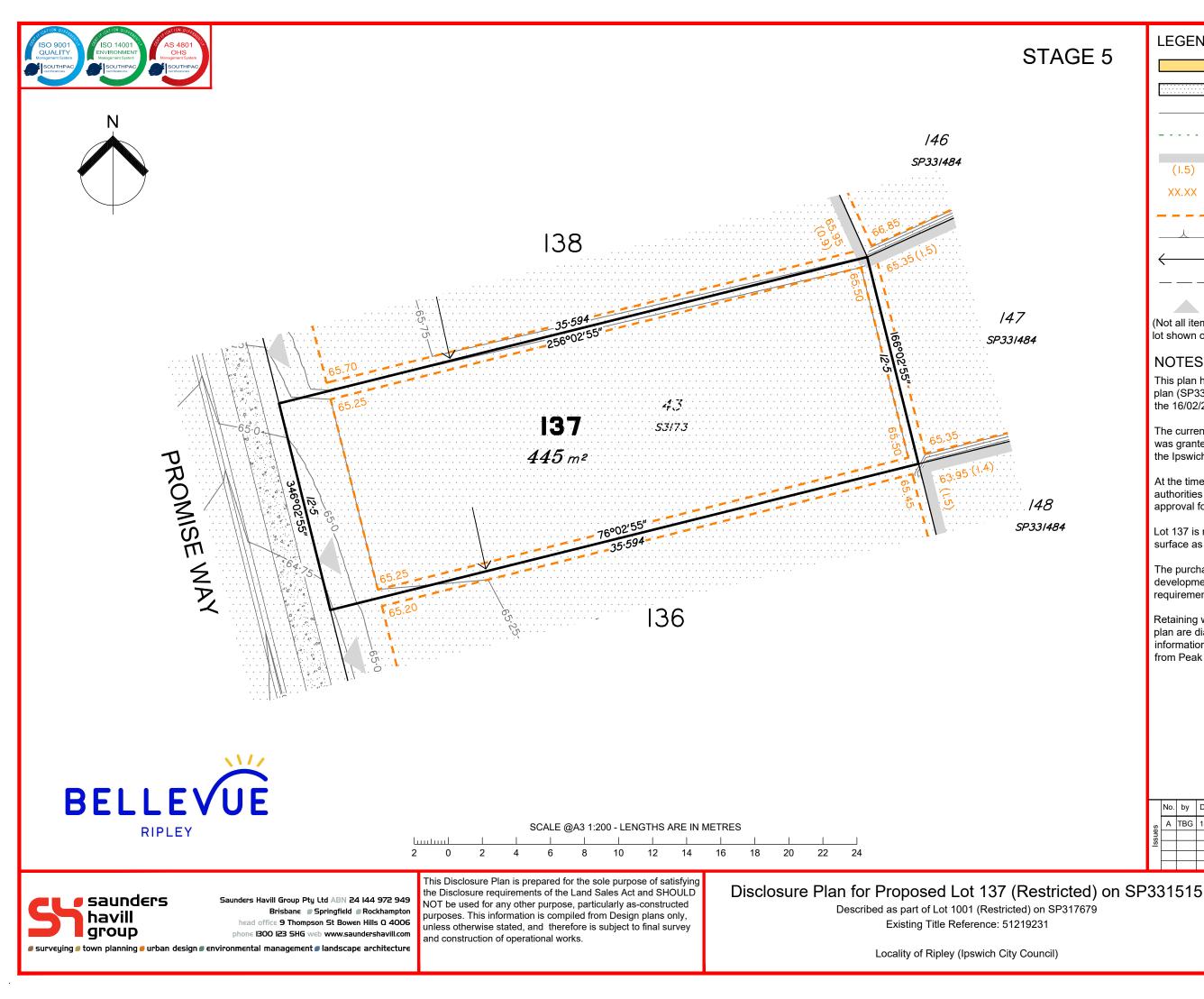
Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

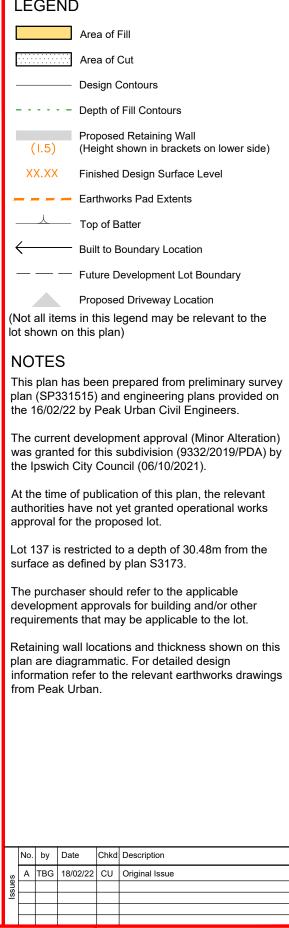
Parts of Lot 136 are subject to areas of fill less than 0.25m in depth.

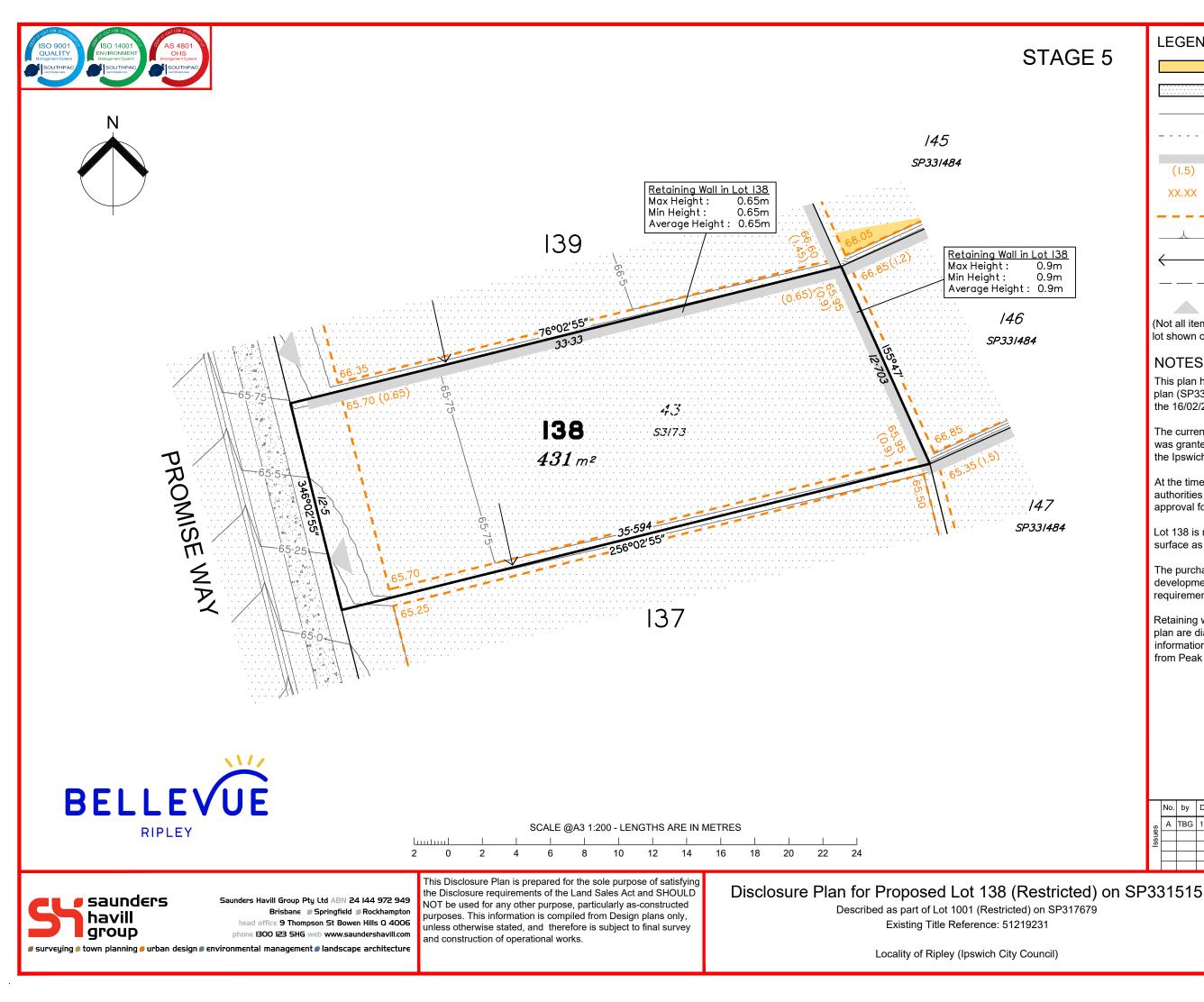
Issues	No.	by	Date	Chkd	Description
	А	TBG	18/02/22	CU	Original Issue

Level Datum: AHD der.						
Origin of Levels: PSM 49894						
RL of Origin: 62.350						
Contour Interval: 0.25m						
<u>Scale @A3_1:200</u>						
Dwg No. 9780 S 19 DP A_136						

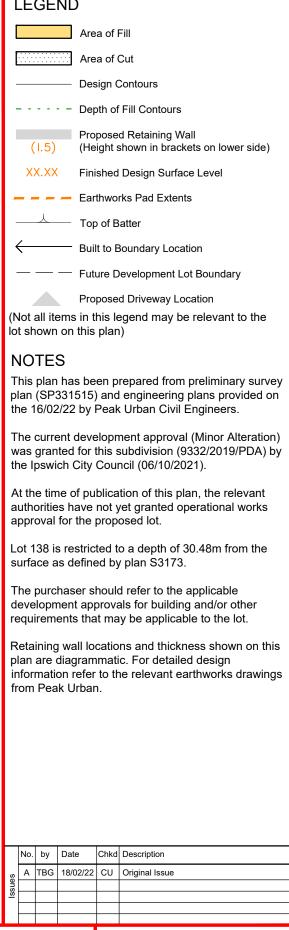


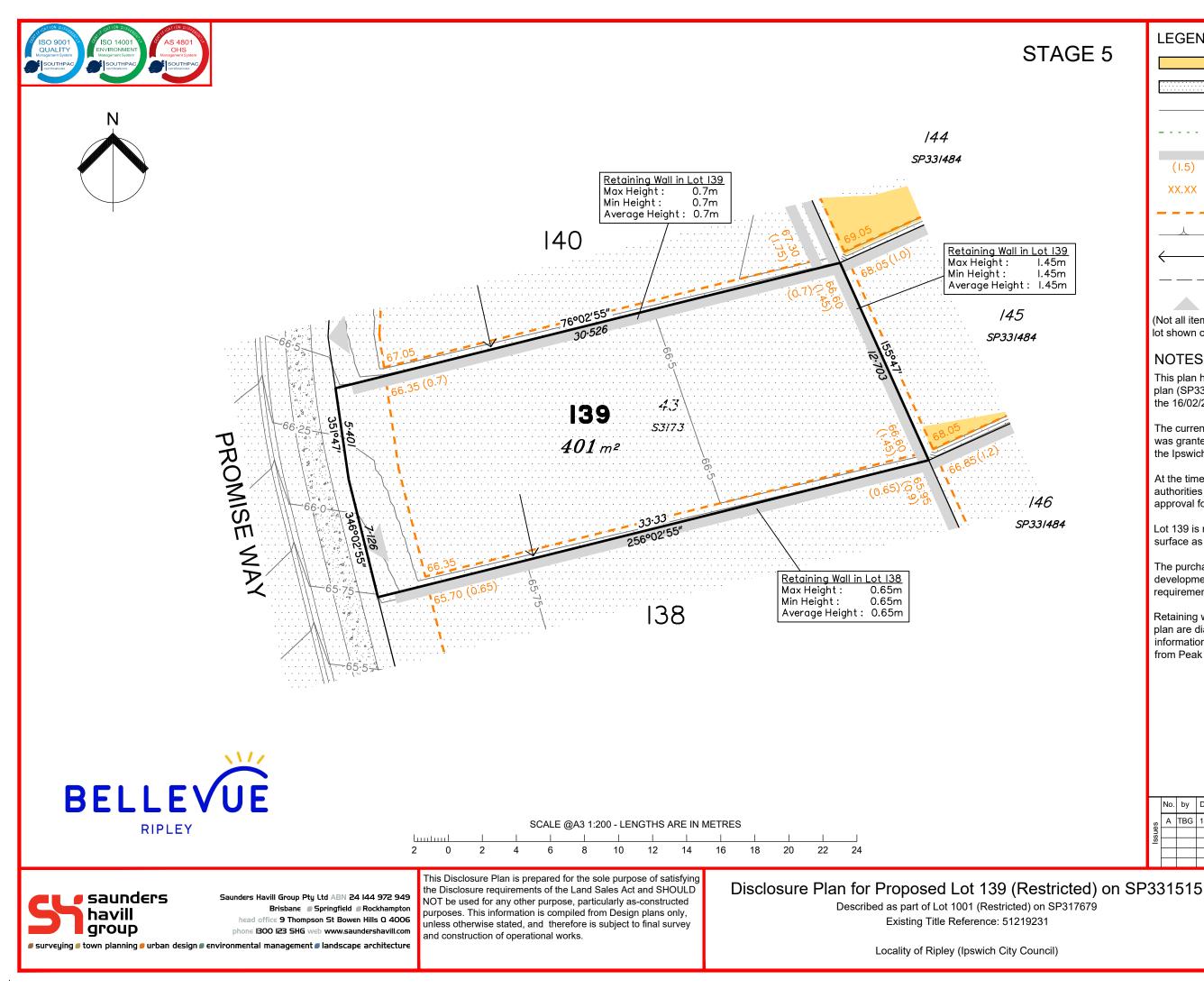




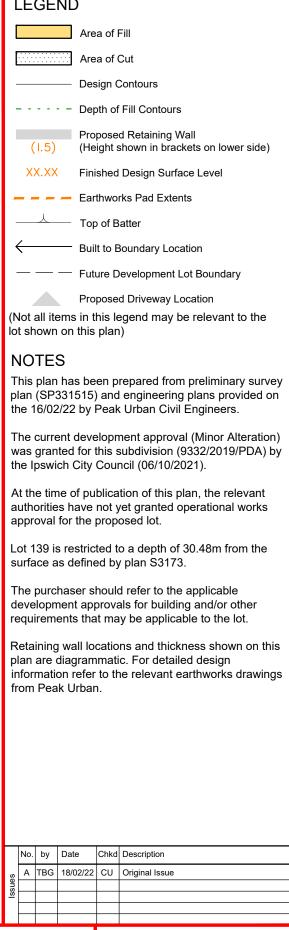


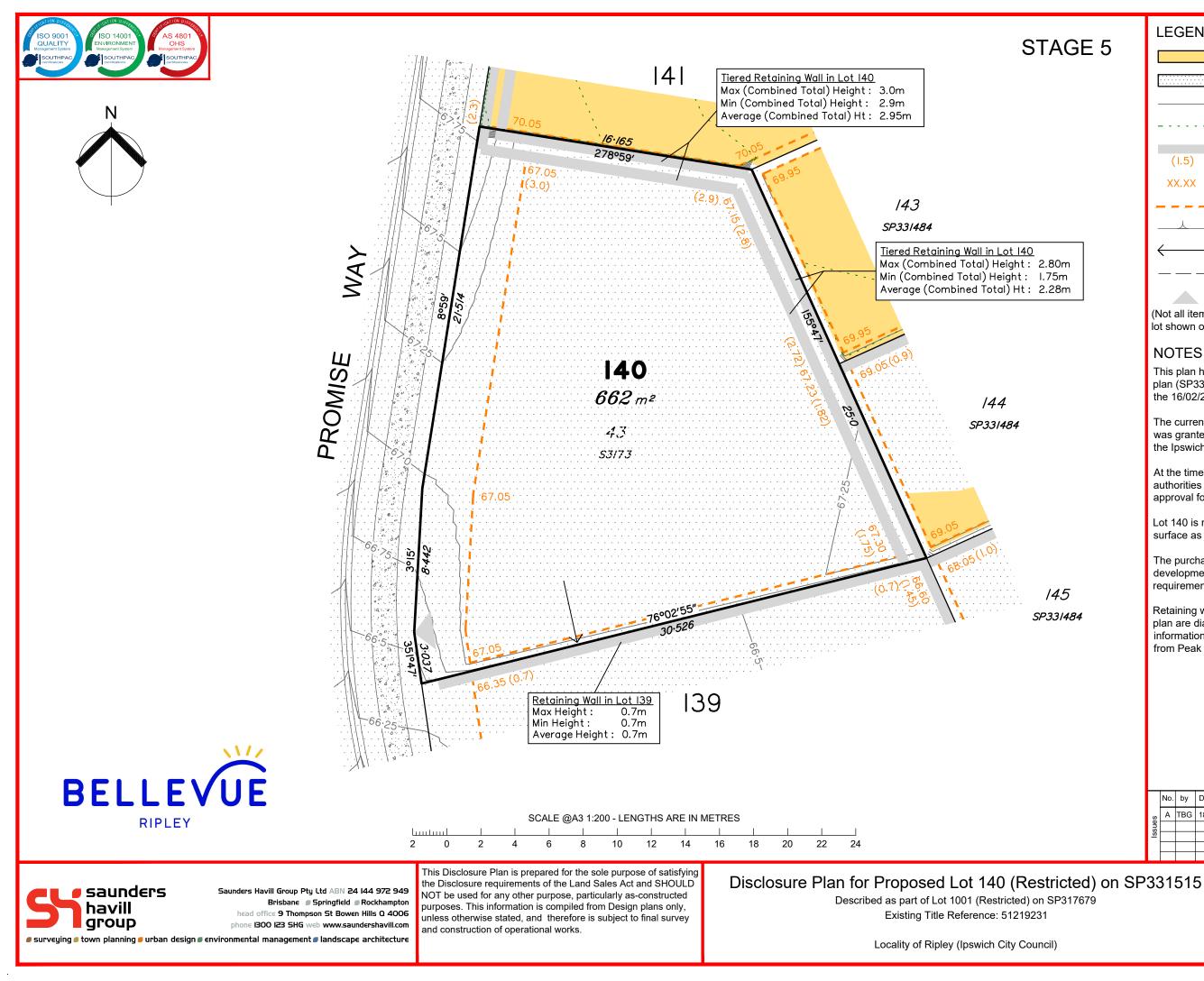




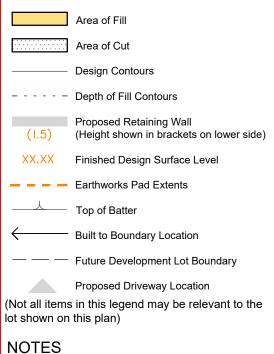












This plan has been prepared from preliminary survey plan (SP331515) and engineering plans provided on the 16/02/22 by Peak Urban Civil Engineers.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (06/10/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

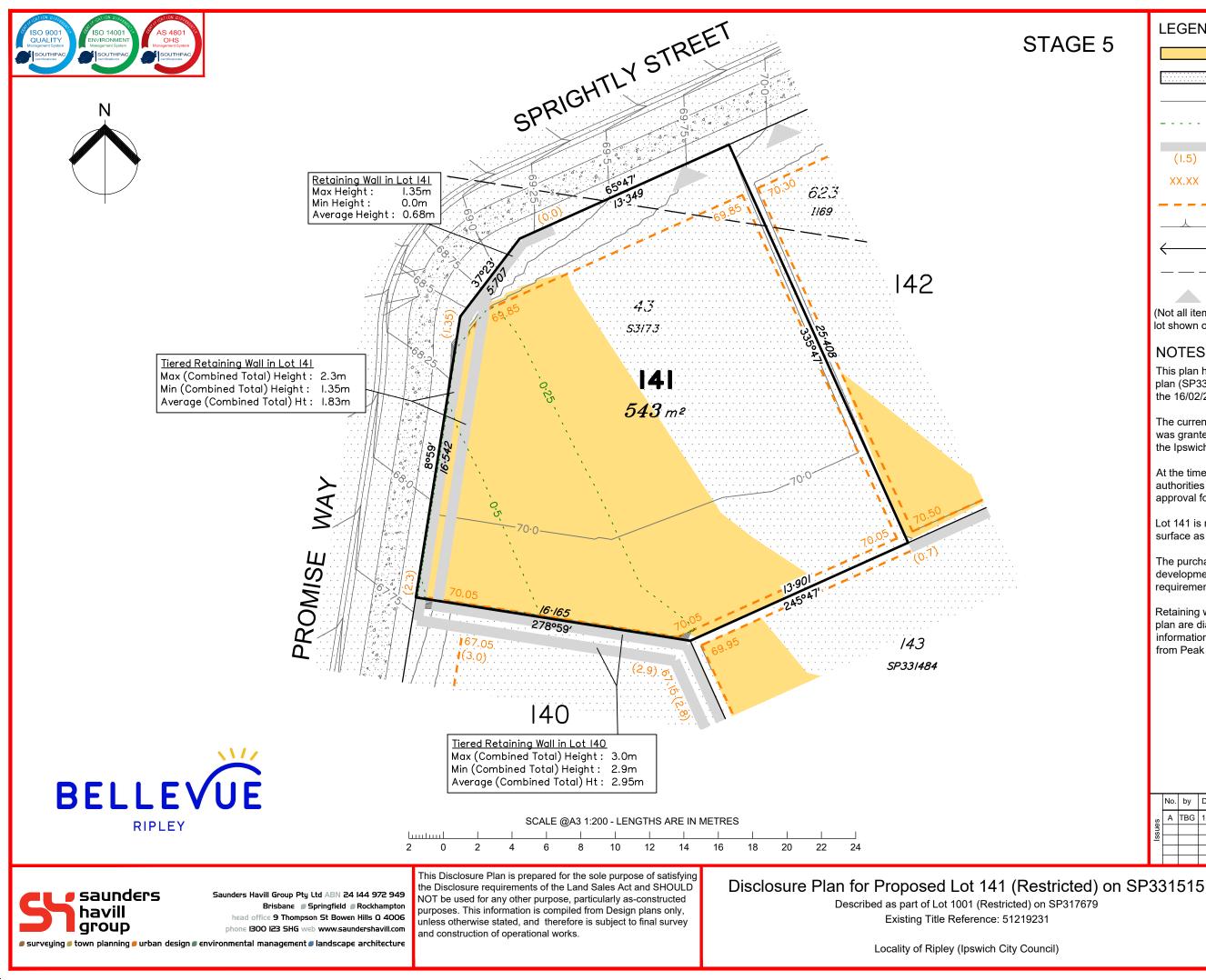
Lot 140 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

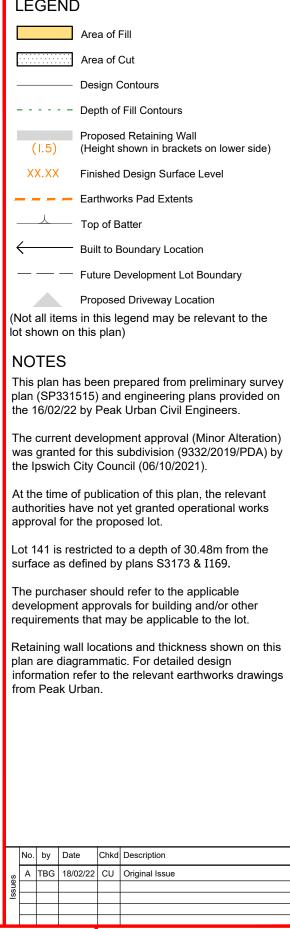
Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

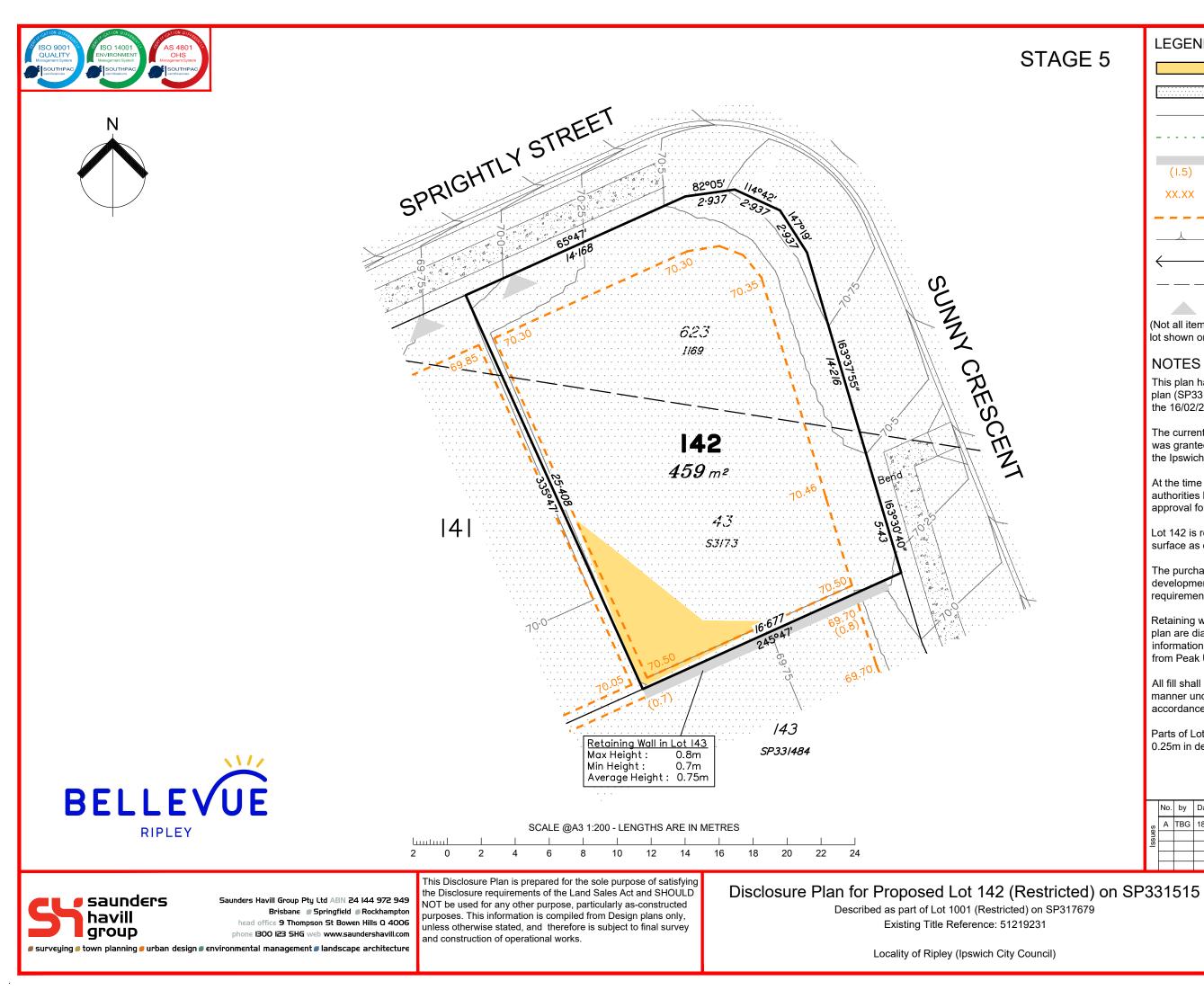
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Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
<u> Scale @A3_1: 200</u>
Dwg No. 9780 S 19 DP A_140



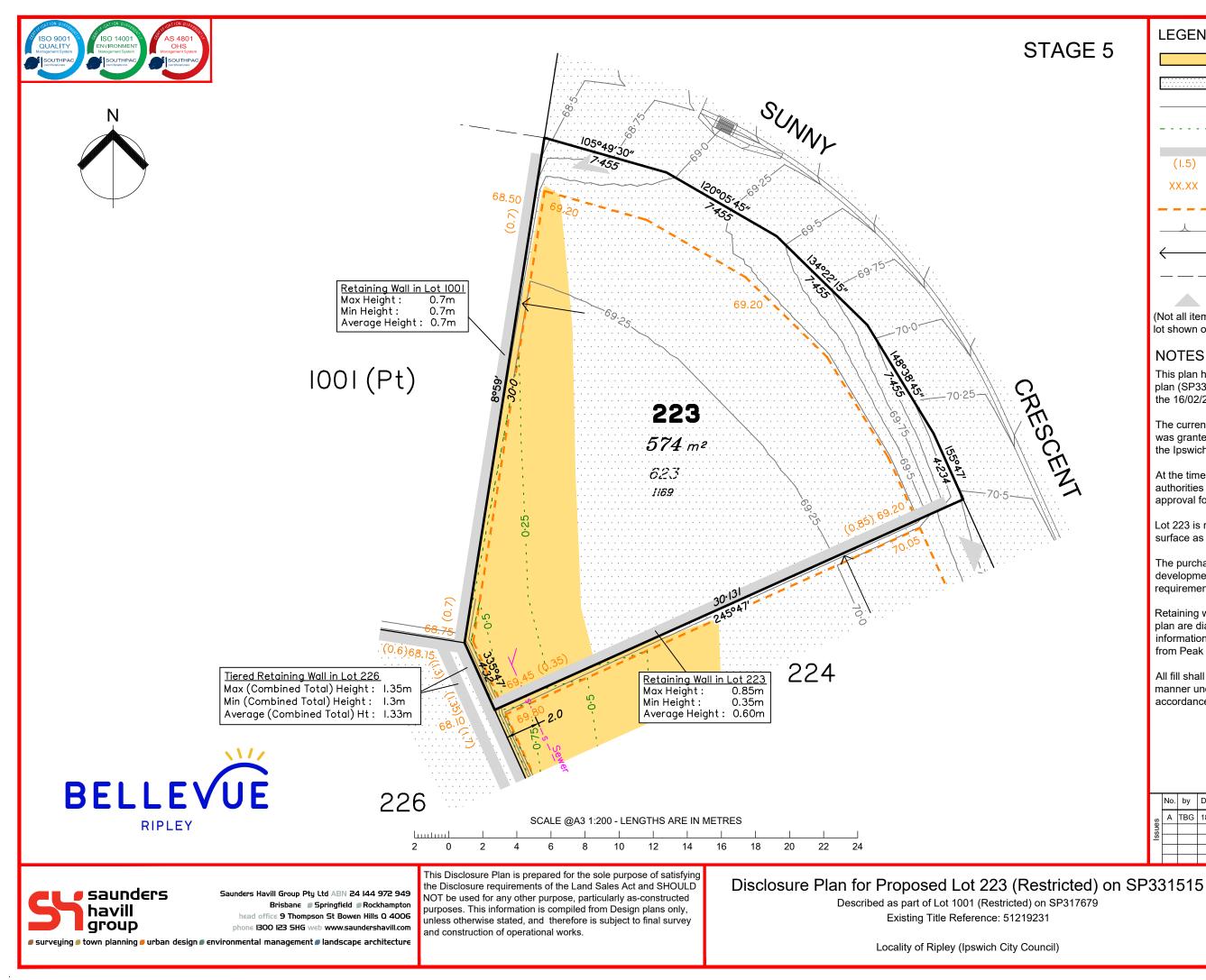




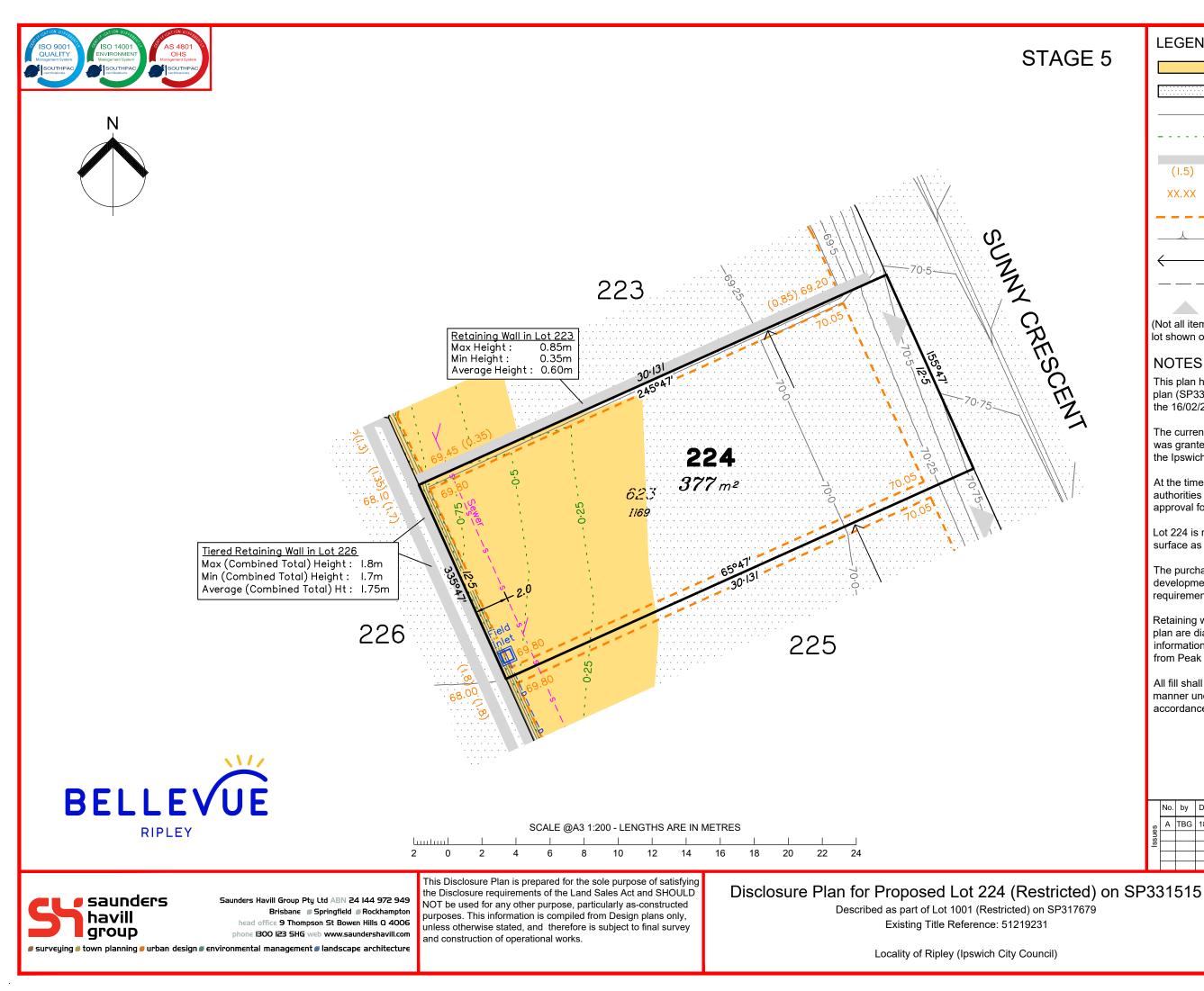


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ŀ	_		— Fut	ure D	evelopment Lot Boundary			
				his le	d Driveway Location egend may be relevant to the ı)			
T pl	his Ian	(SP:	i has be 331515)	) and	repared from preliminary survey l engineering plans provided on < Urban Civil Engineers.			
w	The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (06/10/2021).							
а	At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.							
	Lot 142 is restricted to a depth of 30.48m from the surface as defined by plans S3173 & I169.							
d	The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.							
pl ir	Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.							
All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.								
			_ot 142 depth.	are s	subject to areas of fill less than			
⊢	No.	by	Date	Chkd	Description			
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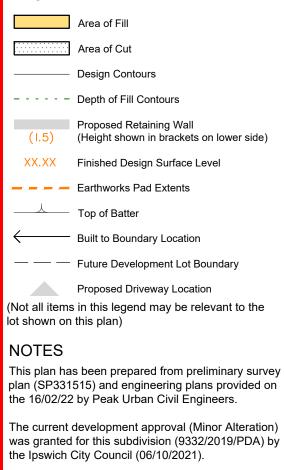
Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m
<u>Scale @A3_1:200</u>
Dwg No. 9780 S 19 DP A_142



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1	(	1.5)			d Retaining Wall shown in brackets on lower side)		
	X	x.xx	Fini	ished	Design Surface Level		
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	_		— Fut	ure D	evelopment Lot Boundary		
				his le	d Driveway Location egend may be relevant to the i)		
Ν	10	TE	S				
p	This plan has been prepared from preliminary survey plan (SP331515) and engineering plans provided on the 16/02/22 by Peak Urban Civil Engineers.						
w	as	gran	ited for	this s	nent approval (Minor Alteration) subdivision (9332/2019/PDA) by ncil (06/10/2021).		
а	At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.						
	Lot 223 is restricted to a depth of 30.48m from the surface as defined by plan I169.						
d	The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.						
p ir	Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.						
All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.							
	No.	by	Date	Chkd	Description		
ssues	A	TBG	18/02/22	CU	Original Issue		
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At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 224 is restricted to a depth of 30.48m from the surface as defined by plan I169.

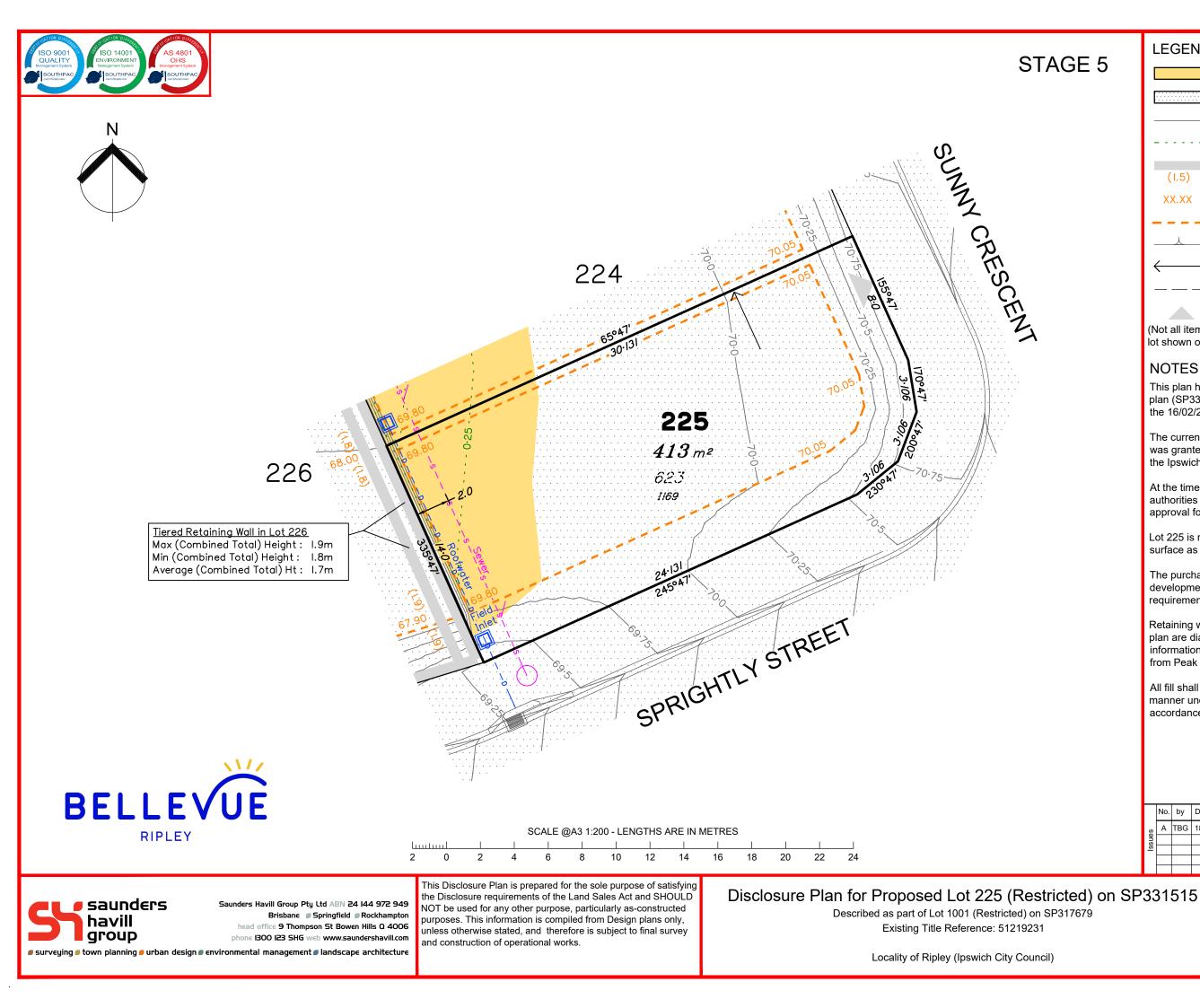
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

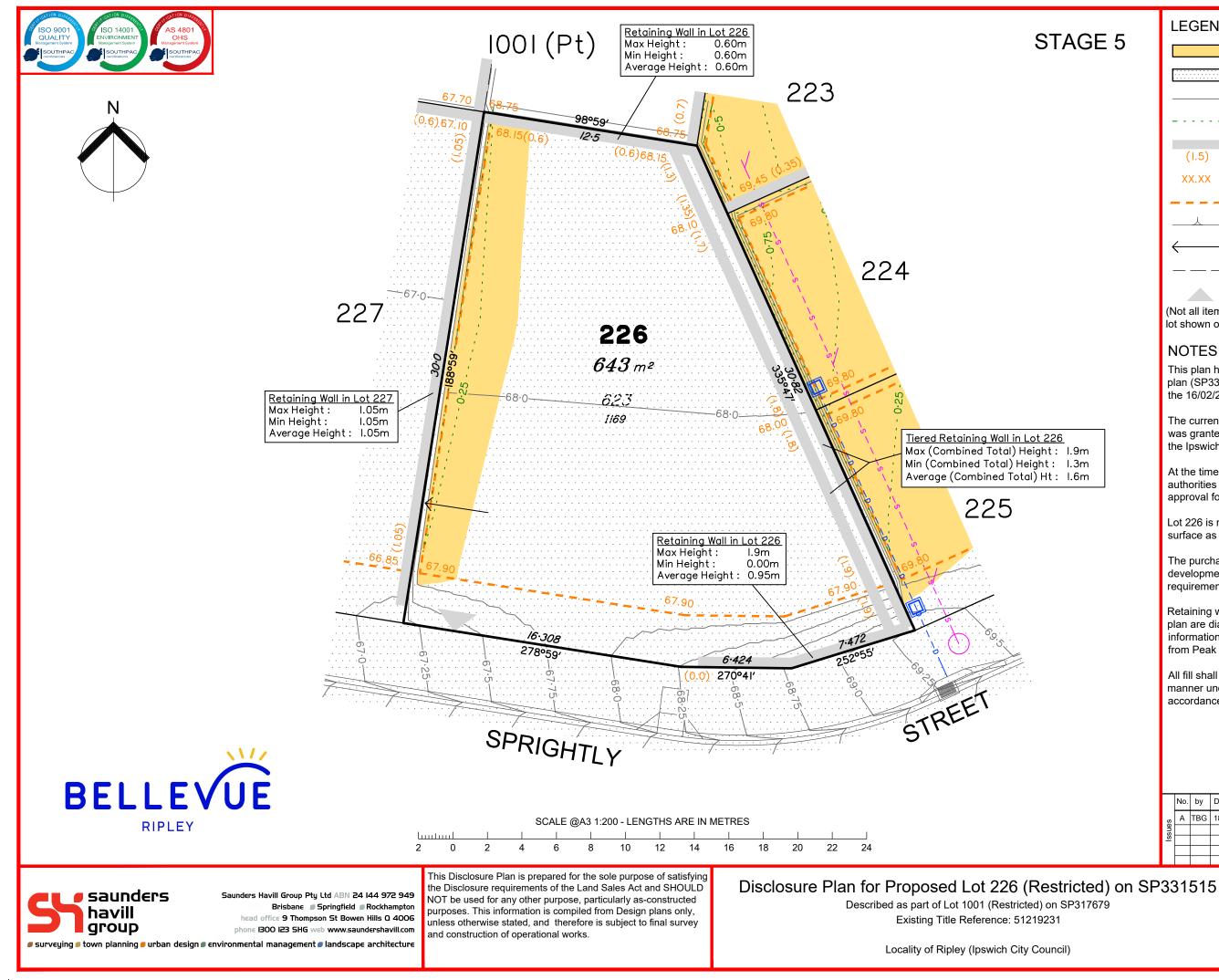
All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

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Level Datum: AHD der.					
Origin of Levels: PSM 49894					
RL of Origin: 62.350					
Contour Interval: 0.25m					
<u>Scale @A3_1: 200</u>					
Dwg No. 9780 S 19 DP A_224					



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1	(	1.5)			d Retaining Wall shown in brackets on lower side)	
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-	-		🗕 Ear	thwo	rks Pad Extents	
-		Y	— Тор	o of B	atter	
¢	$\leftarrow$		— Buil	lt to E	Boundary Location	
-			— Fut	ure D	evelopment Lot Boundary	
				his le	d Driveway Location egend may be relevant to the ı)	
Ν	10	TE	S			
pl	lan	(SP:	331515)	) and	repared from preliminary survey I engineering plans provided on Curban Civil Engineers.	
w	The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (06/10/2021).					
а	At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.					
	Lot 225 is restricted to a depth of 30.48m from the surface as defined by plan I169.					
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.						
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m	anı	ner u	under Le	evel	and compacted in a controlled 1 supervision and certification in i798-2007.	
	No.	by	Date	Chkd	Description	
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	Area of Fill
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	Design Contours
	Depth of Fill Contours
(1.5)	Proposed Retaining Wall (Height shown in brackets on lower side)
XX.XX	Finished Design Surface Level
	Earthworks Pad Extents
<u></u>	Top of Batter
$\leftarrow$	Built to Boundary Location
	Future Development Lot Boundary
	Proposed Driveway Location
(Not all items lot shown on	in this legend may be relevant to the this plan)
NOTES	
plan (SP331	s been prepared from preliminary survey 515) and engineering plans provided on by Peak Urban Civil Engineers.

The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (06/10/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 226 is restricted to a depth of 30.48m from the surface as defined by plan I169.

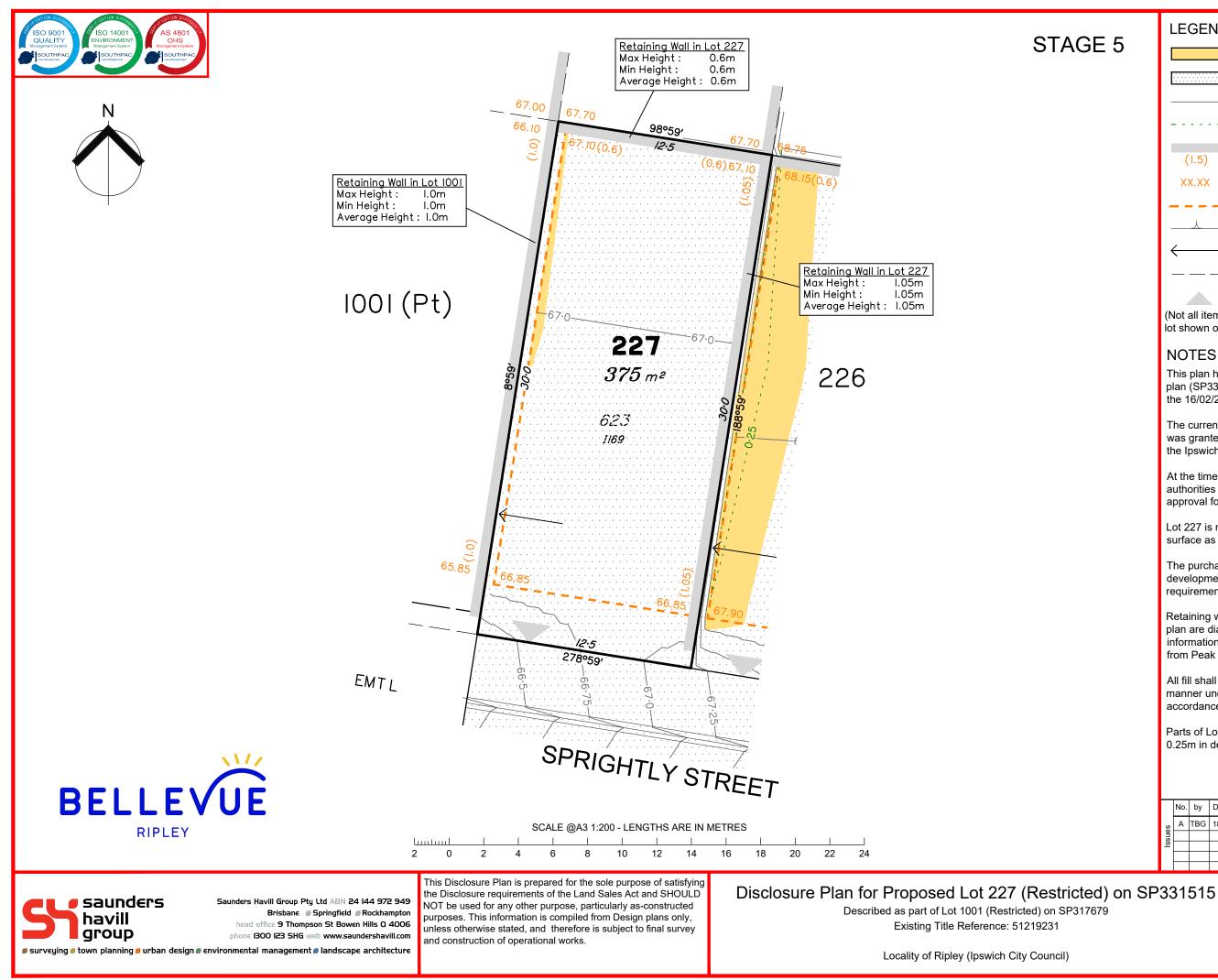
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

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Level Datum: AHD der.		
Origin of Levels: PSM 49894		
RL of Origin: 62.350		
Contour Interval: 0.25m		
<u>Scale @A3_1:200</u>		
Dwg No. 9780 S 19 DP A_226		



Area of Fill
Design Contours
Depth of Fill Contours
(1.5) Proposed Retaining Wall (Height shown in brackets on lower side)
XX.XX Finished Design Surface Level
Earthworks Pad Extents
───────── Top of Batter
← Built to Boundary Location
— — Future Development Lot Boundary
Proposed Driveway Location
(Not all items in this legend may be relevant to the lot shown on this plan)
NOTES
This plan has been prepared from preliminary survey plan (SP331515) and engineering plans provided on the 16/02/22 by Peak Urban Civil Engineers.
The current development approval (Minor Alteration) was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (06/10/2021).
At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.
Lot 227 is restricted to a depth of 30.48m from the surface as defined by plan I169.
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.
Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.
All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.
Parts of Lot 227 are subject to areas of fill less than 0.25m in depth.
No. by Date Chkd Description
A TBG 18/02/22 CU Original Issue

Level Datum: AHD der.		
Origin of Levels: PSM 49894		
RL of Origin: 62.350		
Contour Interval: 0.25m		
Scale @A3_1: 200		
Dwg No. 9780 S 19 DP A_227		