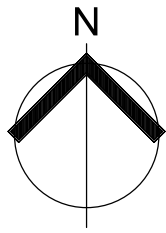
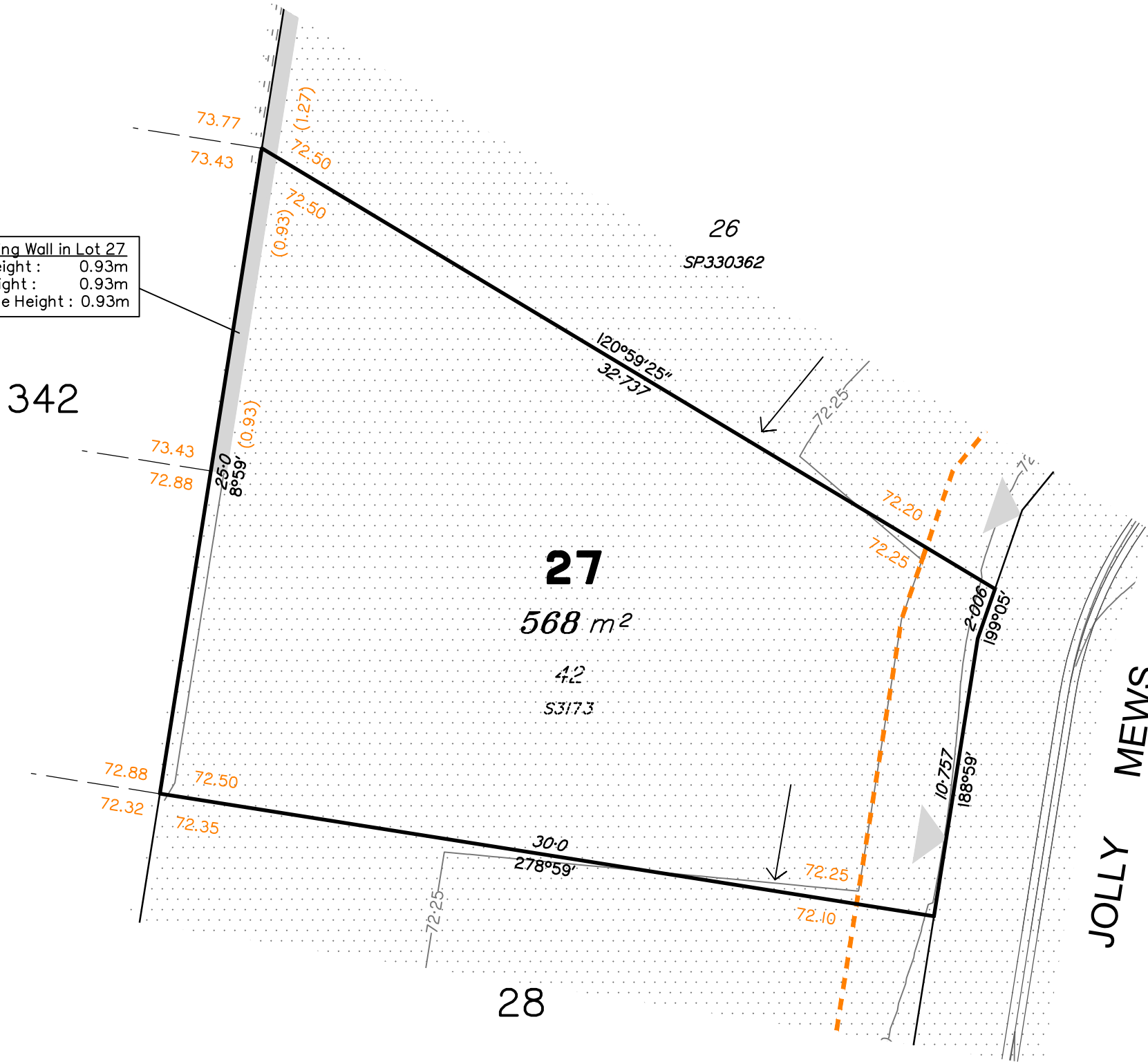




# STAGE 3



Retaining Wall in Lot 27  
 Max Height : 0.93m  
 Min Height : 0.93m  
 Average Height : 0.93m



## LEGEND

- Area of Fill
  - Area of Cut
  - Design Contours
  - Depth of Fill Contours
  - Proposed Retaining Wall (Height shown in brackets on lower side)
  - Finished Design Surface Level
  - Earthworks Pad Extents
  - Built to Boundary Location
  - Future Development Lot Boundary
  - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

## NOTES

This plan has been prepared from preliminary survey plan (SP330363) and engineering plans provided on the 30/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

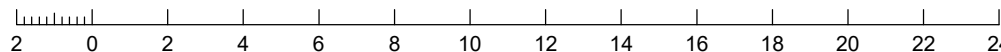
Lot 27 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



No.	by	Date	Chkd	Description
A	TBG	19/08/21	CU	Original Issue
Issues				



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## Disclosure Plan for Proposed Lot 27 (Restricted) on SP330363

Described as part of Lot 1001 (Restricted) on SP317679  
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

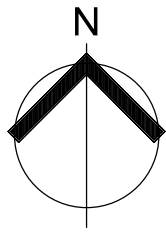
Level Datum: AHD der.  
 Origin of Levels: PSM 49894  
 RL of Origin: 62.350  
 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 17 DP A\_27



# STAGE 3



## LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- - - - Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- XX.XX Finished Design Surface Level
- - - - Earthworks Pad Extents
- ← Built to Boundary Location
- - - - Future Development Lot Boundary
- ▲ Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

## NOTES

This plan has been prepared from preliminary survey plan (SP330363) and engineering plans provided on the 30/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

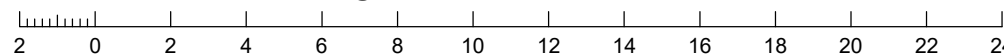
Lot 28 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



No.	by	Date	Chkd	Description
A	TBG	19/08/21	CU	Original Issue



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## Disclosure Plan for Proposed Lot 28 (Restricted) on SP330363

Described as part of Lot 1001 (Restricted) on SP317679  
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

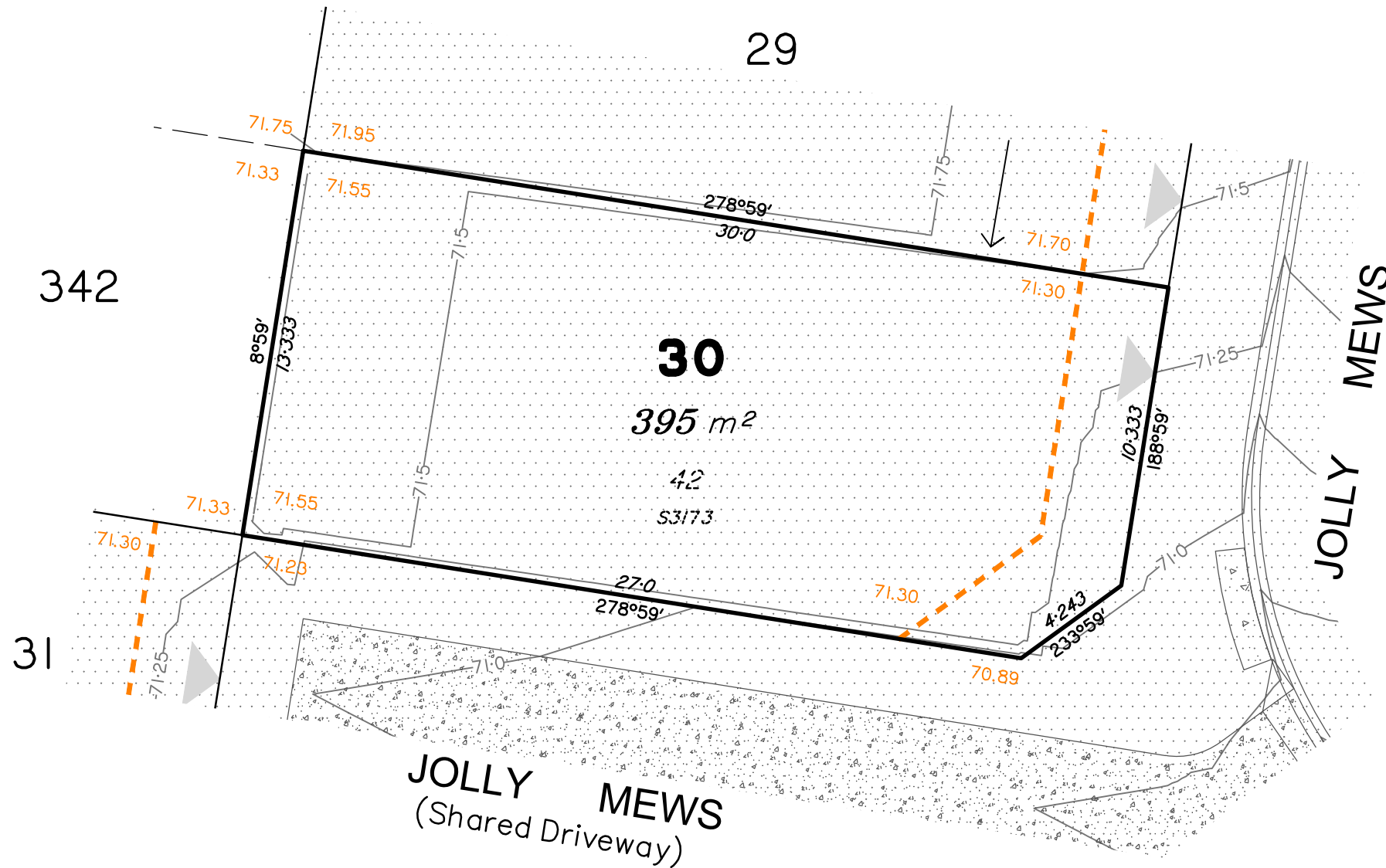
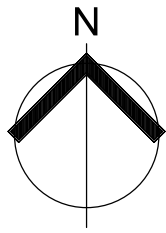
Level Datum: AHD der.  
 Origin of Levels: PSM 49894  
 RL of Origin: 62.350  
 Contour Interval: 0.25m

Scale @A3 1: 200  
 Dwg No. 9780 S 17 DP A\_28





# STAGE 3



- ### LEGEND
- Area of Fill
  - Area of Cut
  - Design Contours
  - - - - - Depth of Fill Contours
  - Proposed Retaining Wall (1.5) (Height shown in brackets on lower side)
  - XX.XX Finished Design Surface Level
  - - - - - Earthworks Pad Extents
  - ← Built to Boundary Location
  - - - - - Future Development Lot Boundary
  - ▲ Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

### NOTES

This plan has been prepared from preliminary survey plan (SP330363) and engineering plans provided on the 30/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

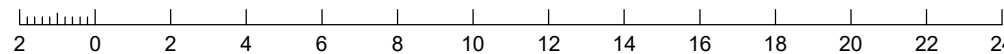
Lot 30 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



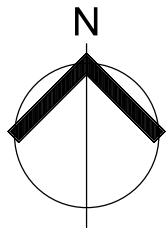
No.	by	Date	Chkd	Description
A	TBG	19/08/21	CU	Original Issue

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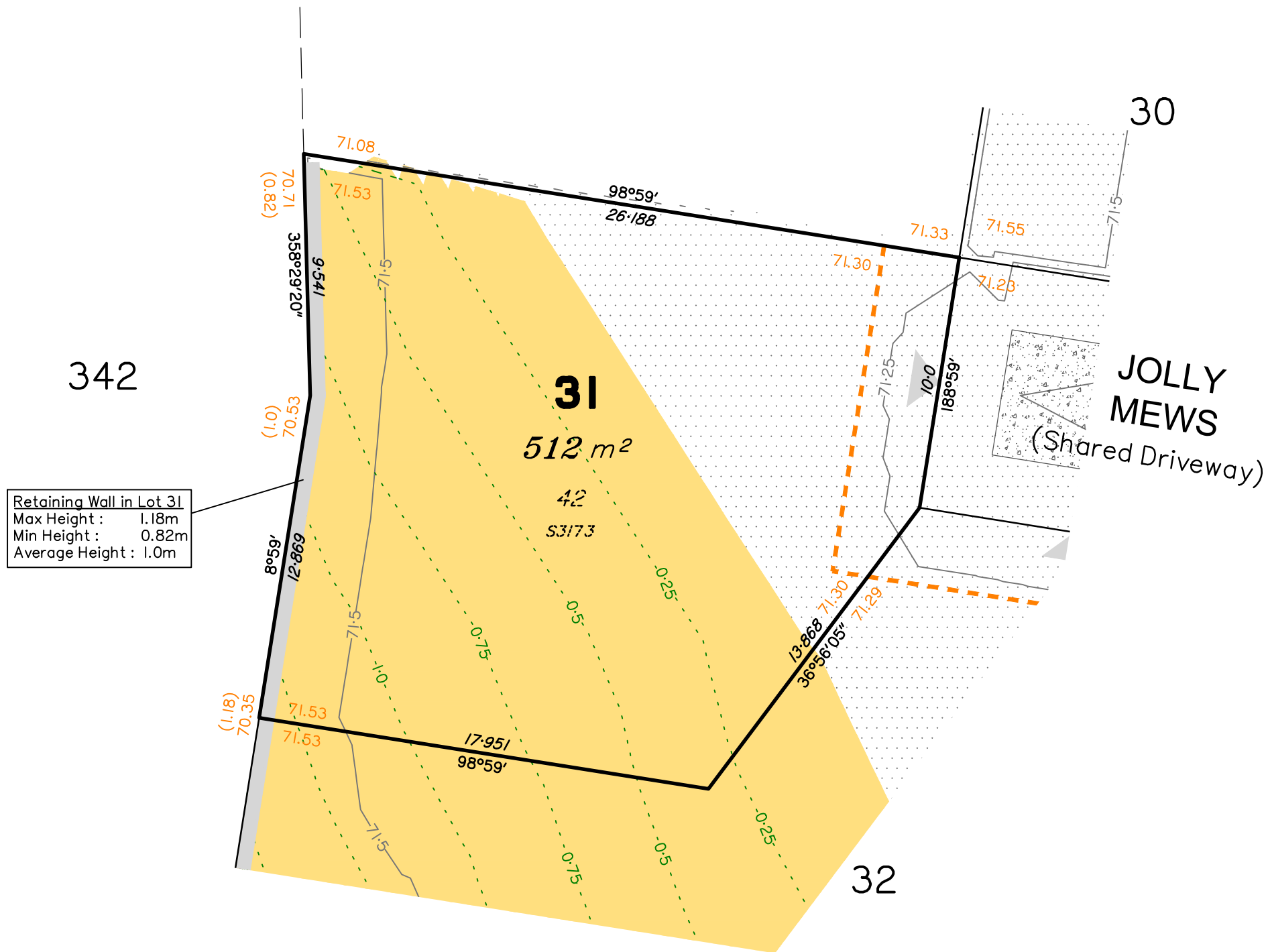
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**Disclosure Plan for Proposed Lot 30 (Restricted) on SP330363**  
 Described as part of Lot 1001 (Restricted) on SP317679  
 Existing Title Reference: 51219231  
 Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
 Origin of Levels: PSM 49894  
 RL of Origin: 62.350  
 Contour Interval: 0.25m  
 Scale @A3 1: 200  
 Dwg No. 9780 S 17 DP A\_30



# STAGE 3



Retaining Wall in Lot 31  
 Max Height : 1.18m  
 Min Height : 0.82m  
 Average Height : 1.0m

## LEGEND

- Area of Fill
  - Area of Cut
  - Design Contours
  - Depth of Fill Contours
  - Proposed Retaining Wall (Height shown in brackets on lower side)
  - XX.XX Finished Design Surface Level
  - Earthworks Pad Extents
  - Built to Boundary Location
  - Future Development Lot Boundary
  - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

## NOTES

This plan has been prepared from preliminary survey plan (SP330363) and engineering plans provided on the 30/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 31 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

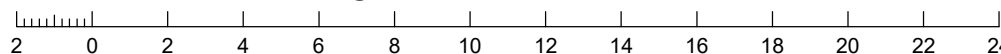
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.



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No.	by	Date	Chkd	Description
A	TBG	19/08/21	CU	Original Issue

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## Disclosure Plan for Proposed Lot 31 (Restricted) on SP330363

Described as part of Lot 1001 (Restricted) on SP317679  
 Existing Title Reference: 51219231

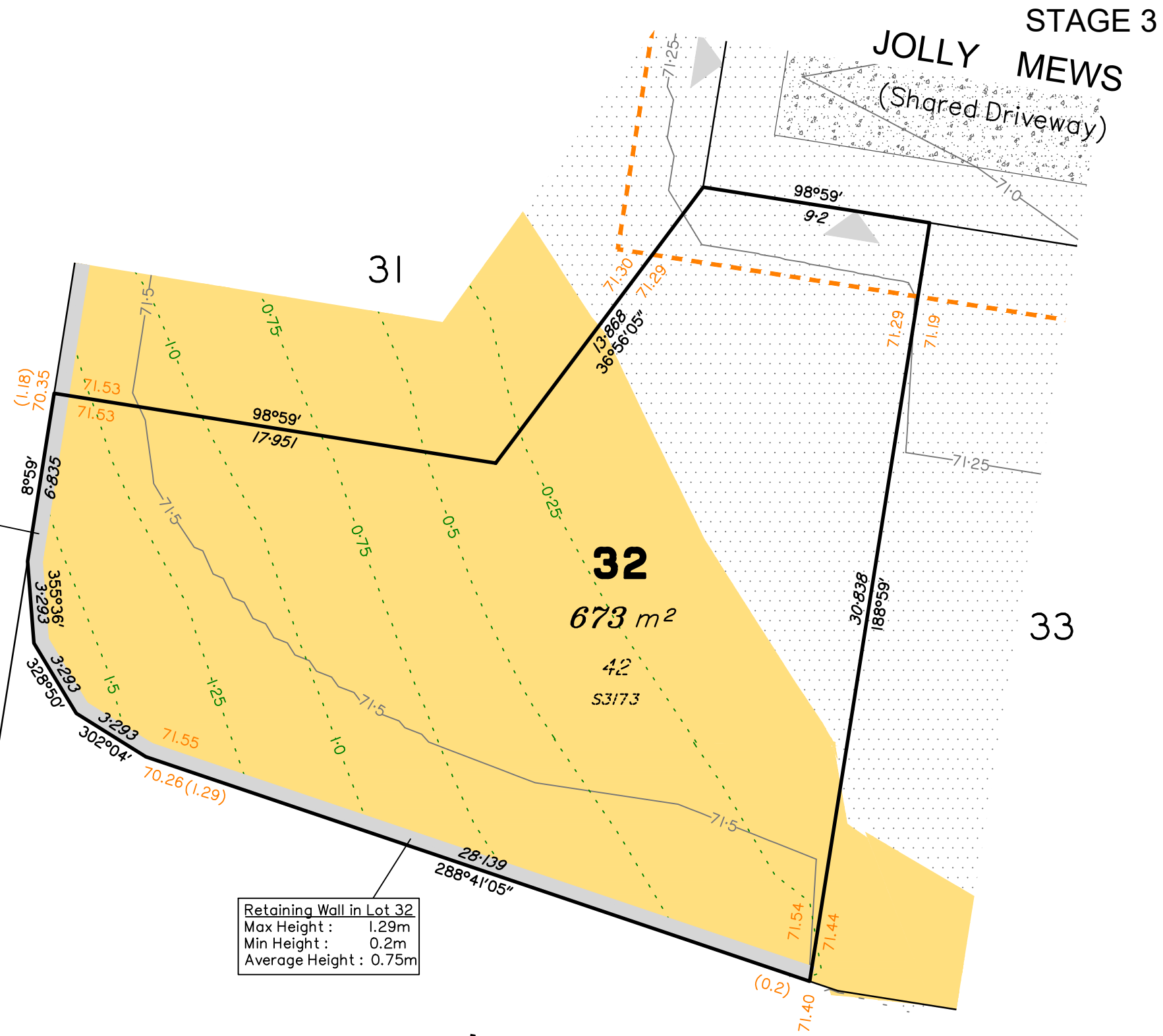
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
 Origin of Levels: PSM 49894  
 RL of Origin: 62.350  
 Contour Interval: 0.25m  
 Scale @A3 1: 200  
 Dwg No. 9780 S 17 DP A\_31



342

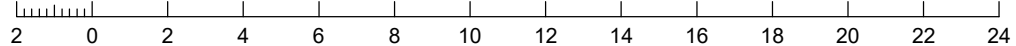
Retaining Wall in Lot 32  
 Max Height : 1.29m  
 Min Height : 1.18m  
 Average Height : 1.24m



Retaining Wall in Lot 32  
 Max Height : 1.29m  
 Min Height : 0.2m  
 Average Height : 0.75m

MONTEREA ROAD

SCALE @A3 1:200 - LENGTHS ARE IN METRES



**LEGEND**

- Area of Fill
- Area of Cut
- Design Contours
- - - Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- XX.XX Finished Design Surface Level
- - - Earthworks Pad Extents
- ← Built to Boundary Location
- - - Future Development Lot Boundary
- ▲ Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

**NOTES**  
 This plan has been prepared from preliminary survey plan (SP330363) and engineering plans provided on the 30/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 32 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

No.	by	Date	Chkd	Description
A	TBG	19/08/21	CU	Original Issue
B	TBG	23/09/21	WH	Monterea Rd dedication added



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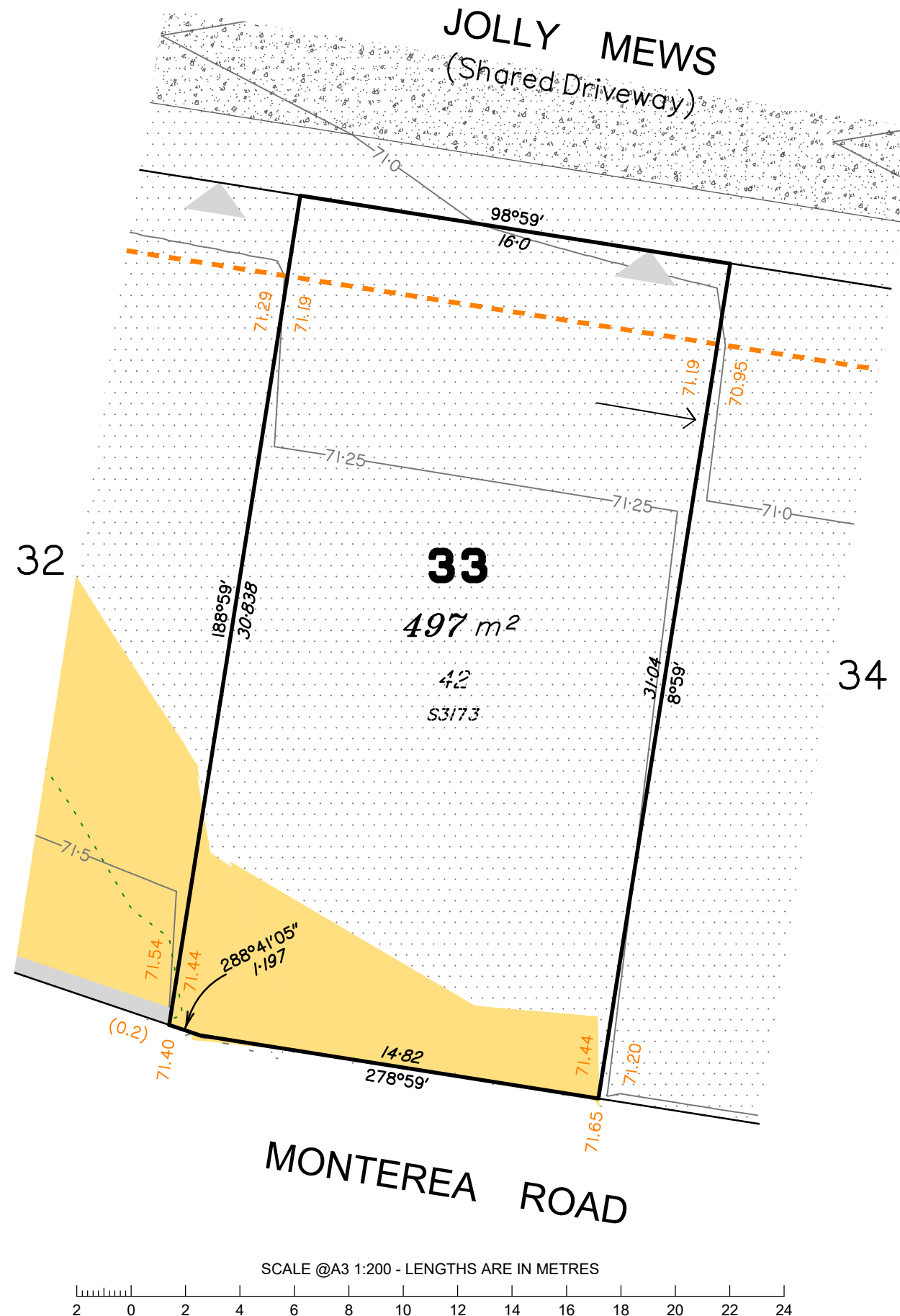
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**Disclosure Plan for Proposed Lot 32 (Restricted) on SP330363**  
 Described as part of Lot 1001 (Restricted) on SP317679  
 Existing Title Reference: 51219231  
 Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
 Origin of Levels: PSM 49894  
 RL of Origin: 62.350  
 Contour Interval: 0.25m  
 Scale @A3 1: 200  
 Dwg No. 9780 S 17 DP B\_32



### STAGE 3



#### LEGEND

- Area of Fill
  - Area of Cut
  - Design Contours
  - Depth of Fill Contours
  - Proposed Retaining Wall (Height shown in brackets on lower side)
  - Finished Design Surface Level
  - Earthworks Pad Extents
  - Built to Boundary Location
  - Future Development Lot Boundary
  - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

#### NOTES

This plan has been prepared from preliminary survey plan (SP330363) and engineering plans provided on the 30/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 33 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

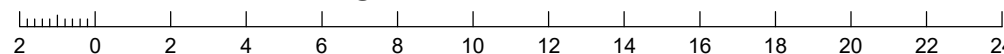
Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

Parts of Lot 33 are subject to fill less than 0.25m in depth.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



No.	by	Date	Chkd	Description
A	TBG	19/08/21	CU	Original Issue
B	TBG	23/09/21	WH	Monterea Rd dedication added



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### Disclosure Plan for Proposed Lot 33 (Restricted) on SP330363

Described as part of Lot 1001 (Restricted) on SP317679  
 Existing Title Reference: 51219231

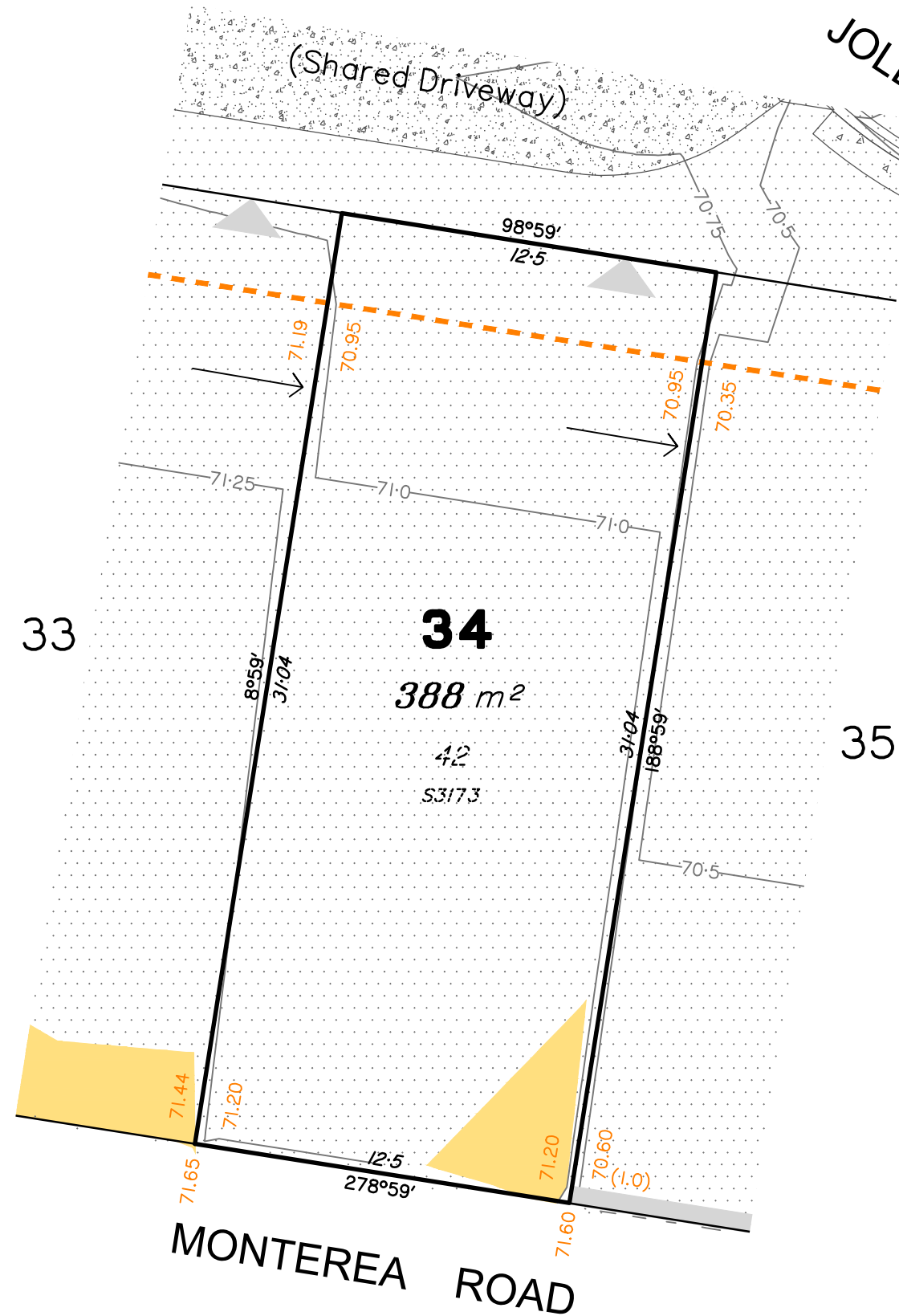
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
 Origin of Levels: PSM 49894  
 RL of Origin: 62.350  
 Contour Interval: 0.25m

Scale @A3 1: 200  
 Dwg No. 9780 S 17 DP B\_33



STAGE 3



**LEGEND**

- Area of Fill
  - Area of Cut
  - Design Contours
  - Depth of Fill Contours
  - Proposed Retaining Wall (Height shown in brackets on lower side)
  - XX.XX Finished Design Surface Level
  - Earthworks Pad Extents
  - Built to Boundary Location
  - Future Development Lot Boundary
  - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

**NOTES**

This plan has been prepared from preliminary survey plan (SP330363) and engineering plans provided on the 30/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 34 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

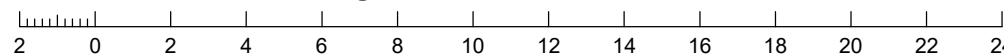
Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

Parts of Lot 34 are subject to fill less than 0.25m in depth.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



No.	by	Date	Chkd	Description
A	TBG	19/08/21	CU	Original Issue
B	TBG	23/09/21	WH	Monterea Rd dedication added



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**Disclosure Plan for Proposed Lot 34 (Restricted) on SP330363**

Described as part of Lot 1001 (Restricted) on SP317679  
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

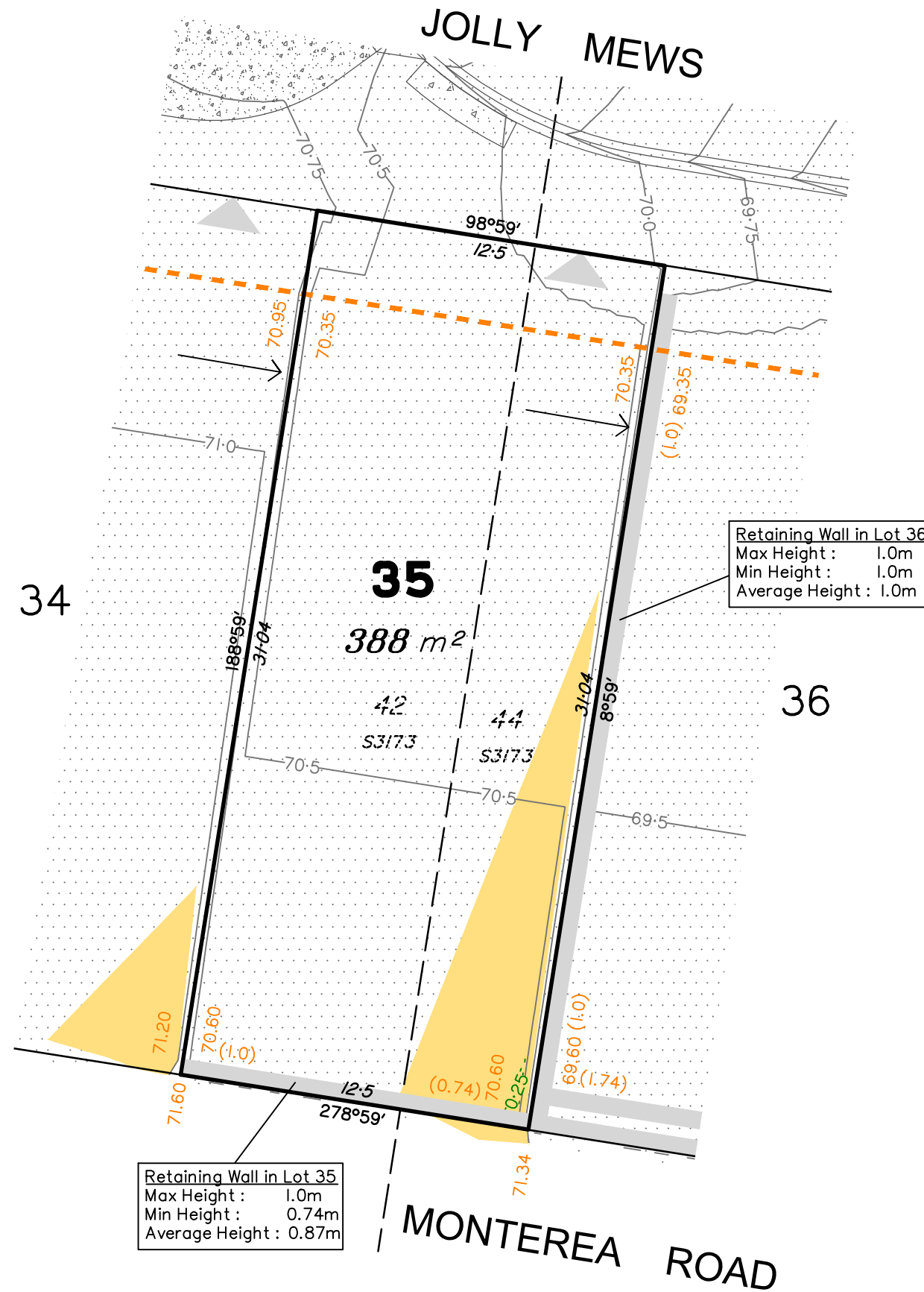
Level Datum: AHD der.  
 Origin of Levels: PSM 49894  
 RL of Origin: 62.350  
 Contour Interval: 0.25m

Scale @A3 1: 200  
 Dwg No. 9780 S 17 DP B\_34





# STAGE 3



## LEGEND

- Area of Fill
  - Area of Cut
  - Design Contours
  - Depth of Fill Contours
  - Proposed Retaining Wall (Height shown in brackets on lower side)
  - Finished Design Surface Level
  - Earthworks Pad Extents
  - Built to Boundary Location
  - Future Development Lot Boundary
  - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

## NOTES

This plan has been prepared from preliminary survey plan (SP330363) and engineering plans provided on the 30/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 35 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

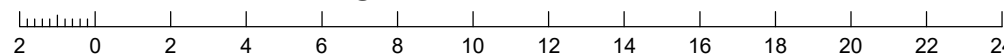
Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

Parts of Lot 35 are subject to fill less than 0.25m in depth.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



No.	by	Date	Chkd	Description
A	TBG	19/08/21	CU	Original Issue
B	TBG	23/09/21	WH	Monterea Rd dedication added



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## Disclosure Plan for Proposed Lot 35 (Restricted) on SP330363

Described as part of Lot 1001 (Restricted) on SP317679  
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

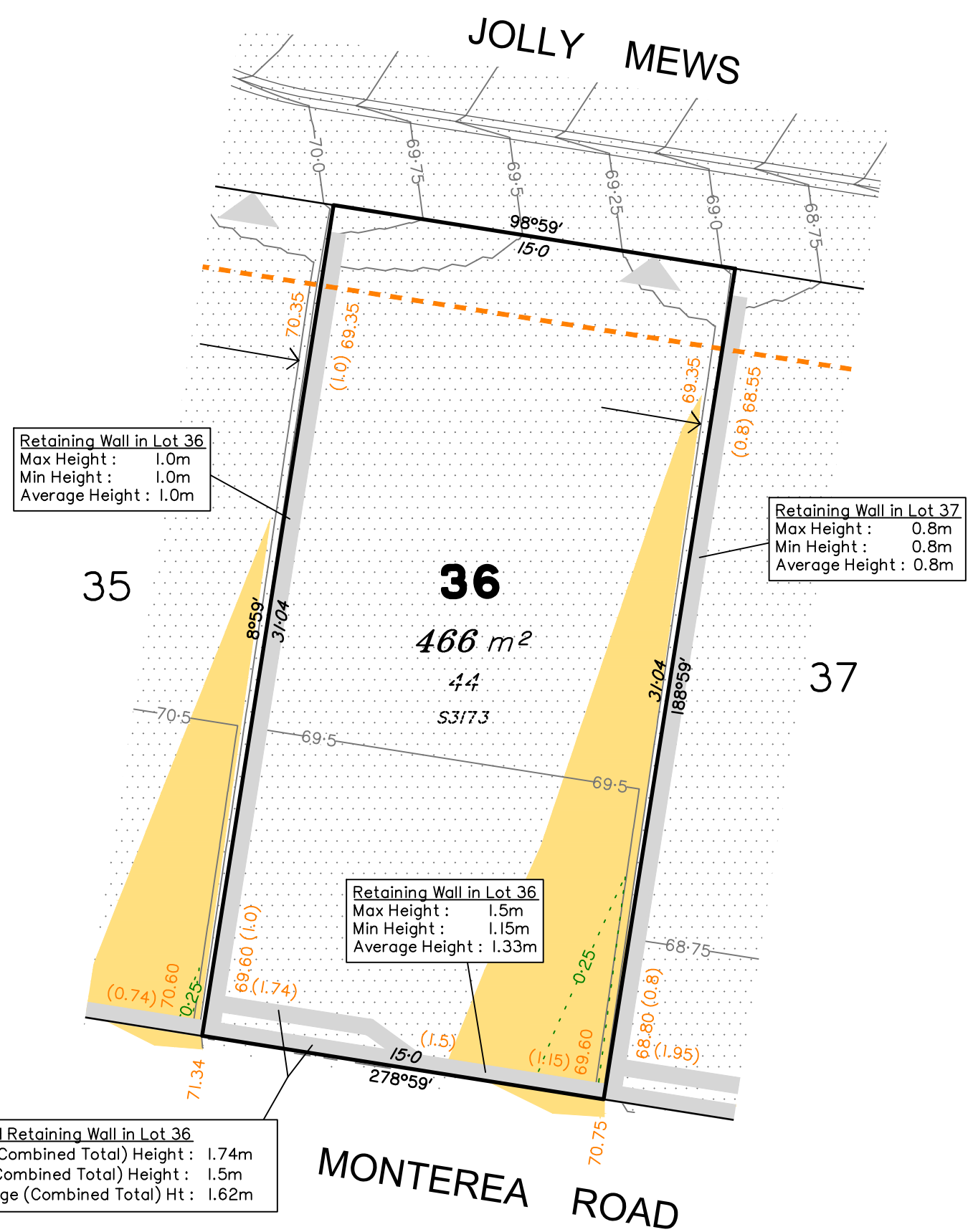
Level Datum: AHD der.  
 Origin of Levels: PSM 49894  
 RL of Origin: 62.350  
 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 17 DP B\_35



# STAGE 3



## LEGEND

- Area of Fill
  - Area of Cut
  - Design Contours
  - Depth of Fill Contours
  - Proposed Retaining Wall (Height shown in brackets on lower side)
  - (1.5) Finished Design Surface Level
  - Earthworks Pad Extents
  - Built to Boundary Location
  - Future Development Lot Boundary
  - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

## NOTES

This plan has been prepared from preliminary survey plan (SP330363) and engineering plans provided on the 30/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 36 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

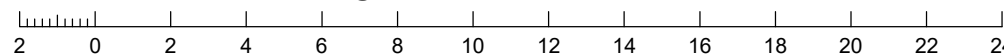
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



No.	by	Date	Chkd	Description
A	TBG	19/08/21	CU	Original Issue
B	TBG	23/09/21	WH	Monterea Rd dedication added



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## Disclosure Plan for Proposed Lot 36 (Restricted) on SP330363

Described as part of Lot 1001 (Restricted) on SP317679  
 Existing Title Reference: 51219231

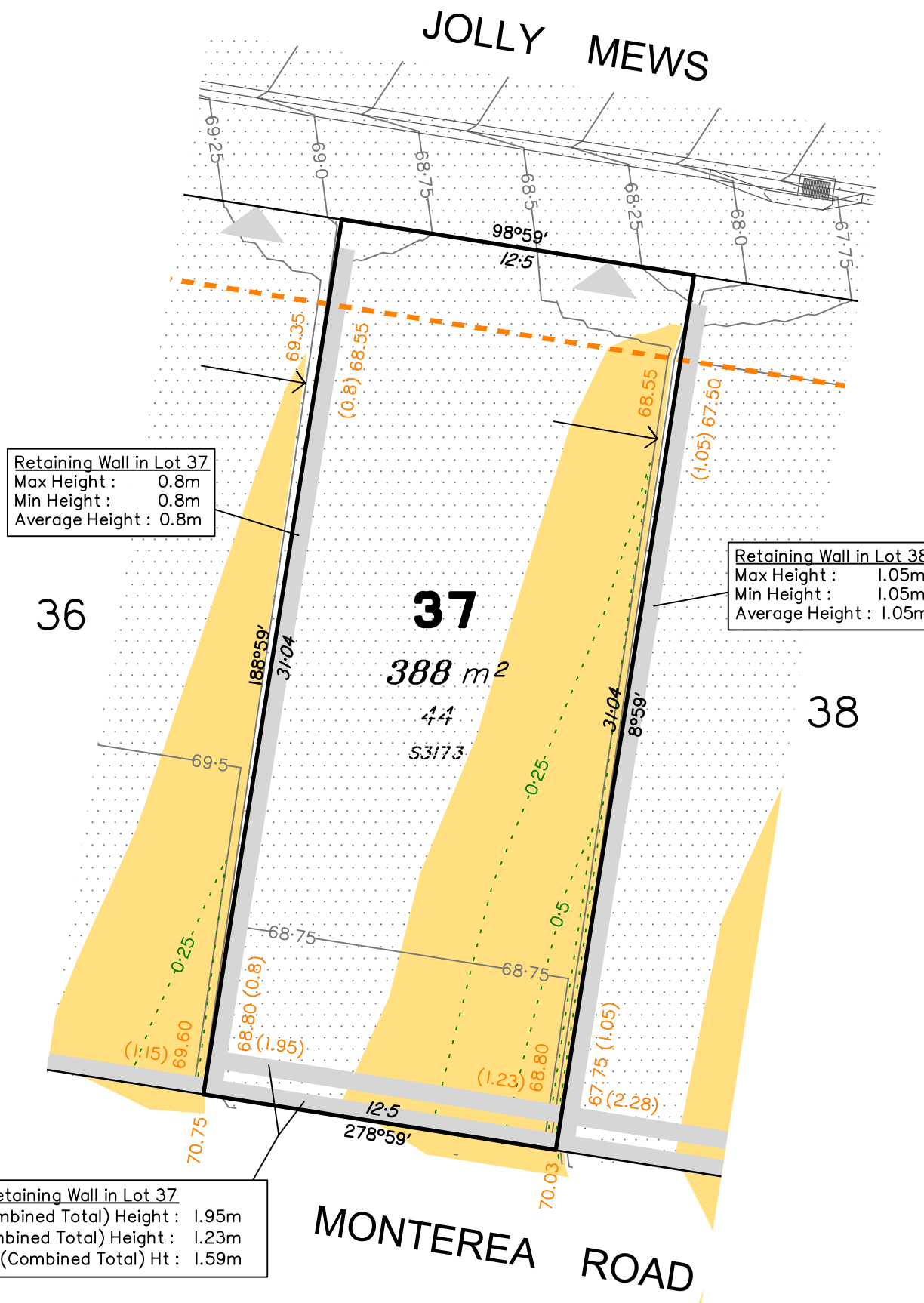
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
 Origin of Levels: PSM 49894  
 RL of Origin: 62.350  
 Contour Interval: 0.25m

Scale @A3 1: 200  
 Dwg No. 9780 S 17 DP B\_36



# STAGE 3

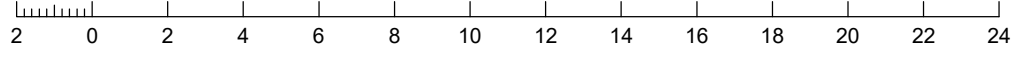


**Retaining Wall in Lot 37**  
 Max Height : 0.8m  
 Min Height : 0.8m  
 Average Height : 0.8m

**Retaining Wall in Lot 38**  
 Max Height : 1.05m  
 Min Height : 1.05m  
 Average Height : 1.05m

**Tiered Retaining Wall in Lot 37**  
 Max (Combined Total) Height : 1.95m  
 Min (Combined Total) Height : 1.23m  
 Average (Combined Total) Ht : 1.59m

SCALE @A3 1:200 - LENGTHS ARE IN METRES



## LEGEND

- Area of Fill
  - Area of Cut
  - Design Contours
  - Depth of Fill Contours
  - Proposed Retaining Wall (Height shown in brackets on lower side)
  - XX.XX Finished Design Surface Level
  - Earthworks Pad Extents
  - Built to Boundary Location
  - Future Development Lot Boundary
  - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

## NOTES

This plan has been prepared from preliminary survey plan (SP330363) and engineering plans provided on the 30/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 37 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

No.	by	Date	Chkd	Description
A	TBG	19/08/21	CU	Original Issue
B	TBG	23/09/21	WH	Montereia Rd dedication added



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## Disclosure Plan for Proposed Lot 37 (Restricted) on SP330363

Described as part of Lot 1001 (Restricted) on SP317679  
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

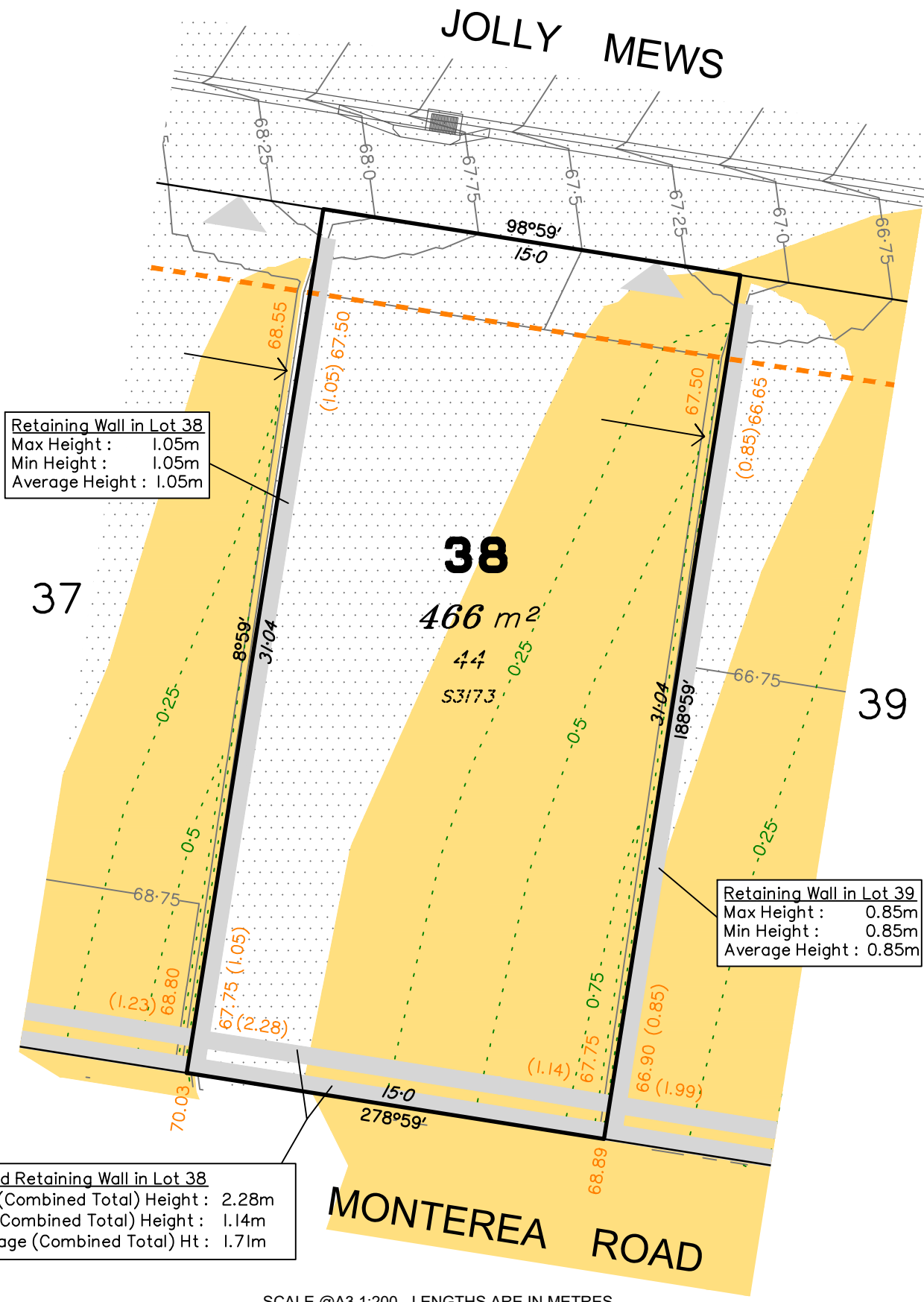
Level Datum: AHD der.  
 Origin of Levels: PSM 49894  
 RL of Origin: 62.350  
 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 17 DP B\_37



# STAGE 3



**Retaining Wall in Lot 38**  
 Max Height : 1.05m  
 Min Height : 1.05m  
 Average Height : 1.05m

**Retaining Wall in Lot 39**  
 Max Height : 0.85m  
 Min Height : 0.85m  
 Average Height : 0.85m

**Tiered Retaining Wall in Lot 38**  
 Max (Combined Total) Height : 2.28m  
 Min (Combined Total) Height : 1.14m  
 Average (Combined Total) Ht : 1.71m

- ### LEGEND
- Area of Fill
  - Area of Cut
  - Design Contours
  - Depth of Fill Contours
  - Proposed Retaining Wall (Height shown in brackets on lower side)
  - XX.XX Finished Design Surface Level
  - Earthworks Pad Extents
  - Built to Boundary Location
  - Future Development Lot Boundary
  - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

### NOTES

This plan has been prepared from preliminary survey plan (SP330363) and engineering plans provided on the 30/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 38 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

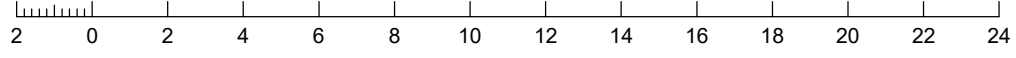
Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

No.	by	Date	Chkd	Description
A	TBG	19/08/21	CU	Original Issue
B	TBG	23/09/21	WH	Monterea Rd dedication added



SCALE @A3 1:200 - LENGTHS ARE IN METRES

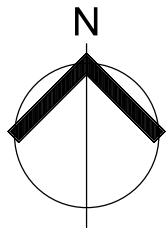


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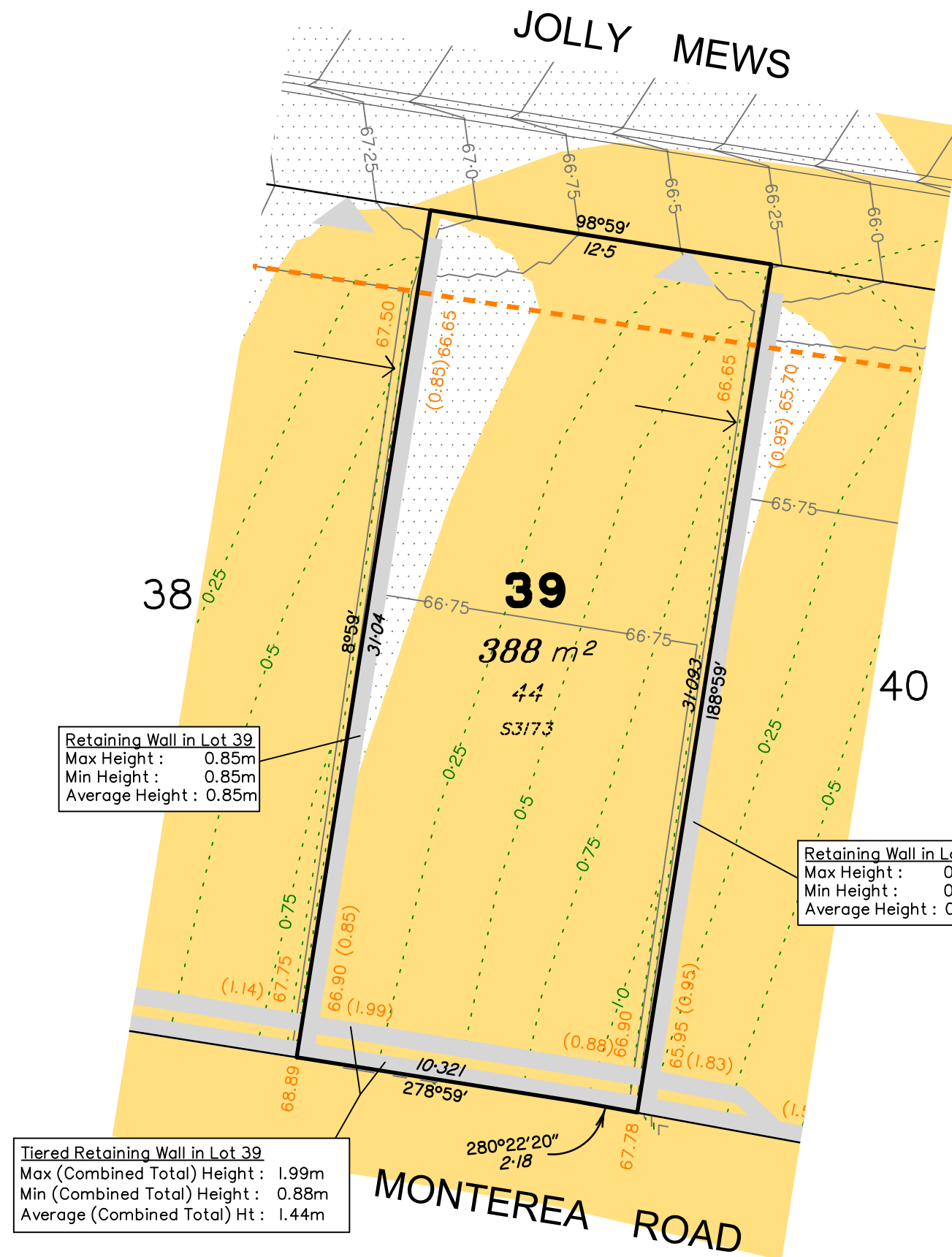
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**Disclosure Plan for Proposed Lot 38 (Restricted) on SP330363**  
 Described as part of Lot 1001 (Restricted) on SP317679  
 Existing Title Reference: 51219231  
 Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
 Origin of Levels: PSM 49894  
 RL of Origin: 62.350  
 Contour Interval: 0.25m  
 Scale @A3 1: 200  
 Dwg No. 9780 S 17 DP B\_38



# STAGE 3



**Retaining Wall in Lot 39**  
 Max Height : 0.85m  
 Min Height : 0.85m  
 Average Height : 0.85m

**Retaining Wall in Lot 40**  
 Max Height : 0.95m  
 Min Height : 0.95m  
 Average Height : 0.95m

**Tiered Retaining Wall in Lot 39**  
 Max (Combined Total) Height : 1.99m  
 Min (Combined Total) Height : 0.88m  
 Average (Combined Total) Ht : 1.44m

## LEGEND

- Area of Fill
  - Area of Cut
  - Design Contours
  - Depth of Fill Contours
  - Proposed Retaining Wall (Height shown in brackets on lower side)
  - XX.XX Finished Design Surface Level
  - Earthworks Pad Extents
  - Built to Boundary Location
  - Future Development Lot Boundary
  - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

## NOTES

This plan has been prepared from preliminary survey plan (SP330363) and engineering plans provided on the 30/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 39 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

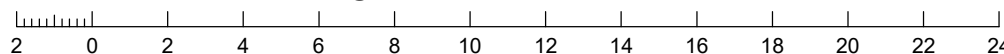
Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

No.	by	Date	Chkd	Description
A	TBG	19/08/21	CU	Original Issue
B	TBG	23/09/21	WH	Monterea Rd dedication added



SCALE @A3 1:200 - LENGTHS ARE IN METRES



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## Disclosure Plan for Proposed Lot 39 (Restricted) on SP330363

Described as part of Lot 1001 (Restricted) on SP317679  
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
 Origin of Levels: PSM 49894  
 RL of Origin: 62.350  
 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 17 DP B\_39



# STAGE 3

## LEGEND

- Area of Fill
  - Area of Cut
  - Design Contours
  - Depth of Fill Contours
  - Proposed Retaining Wall (Height shown in brackets on lower side)
  - Finished Design Surface Level
  - Earthworks Pad Extents
  - Built to Boundary Location
  - Future Development Lot Boundary
  - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

## NOTES

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The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

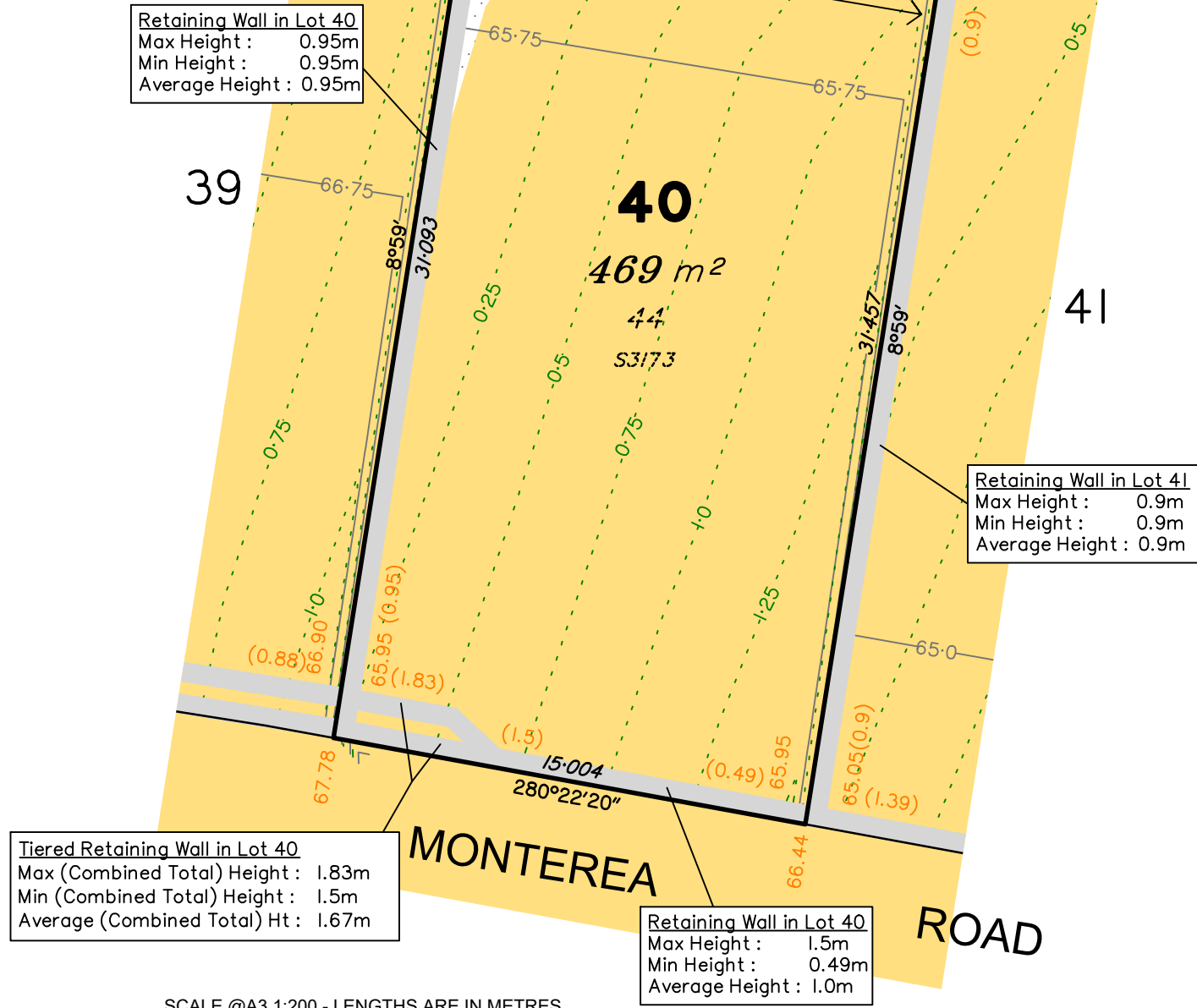
At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 40 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

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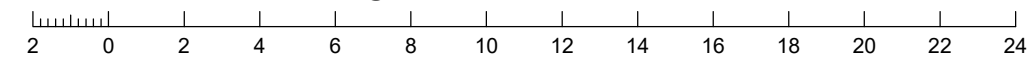
Retaining Wall in Lot 40  
 Max Height : 0.95m  
 Min Height : 0.95m  
 Average Height : 0.95m

Retaining Wall in Lot 41  
 Max Height : 0.9m  
 Min Height : 0.9m  
 Average Height : 0.9m

Tiered Retaining Wall in Lot 40  
 Max (Combined Total) Height : 1.83m  
 Min (Combined Total) Height : 1.5m  
 Average (Combined Total) Ht : 1.67m

Retaining Wall in Lot 40  
 Max Height : 1.5m  
 Min Height : 0.49m  
 Average Height : 1.0m

SCALE @A3 1:200 - LENGTHS ARE IN METRES



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**Disclosure Plan for Proposed Lot 40 (Restricted) on SP330363**  
 Described as part of Lot 1001 (Restricted) on SP317679  
 Existing Title Reference: 51219231  
 Locality of Ripley (Ipswich City Council)

No.	by	Date	Chkd	Description
A	TBG	19/08/21	CU	Original Issue
B	TBG	23/09/21	WH	Monterea Rd dedication added

Level Datum: AHD der.  
 Origin of Levels: PSM 49894  
 RL of Origin: 62.350  
 Contour Interval: 0.25m  
 Scale @A3 1: 200  
 Dwg No. 9780 S 17 DP B\_40

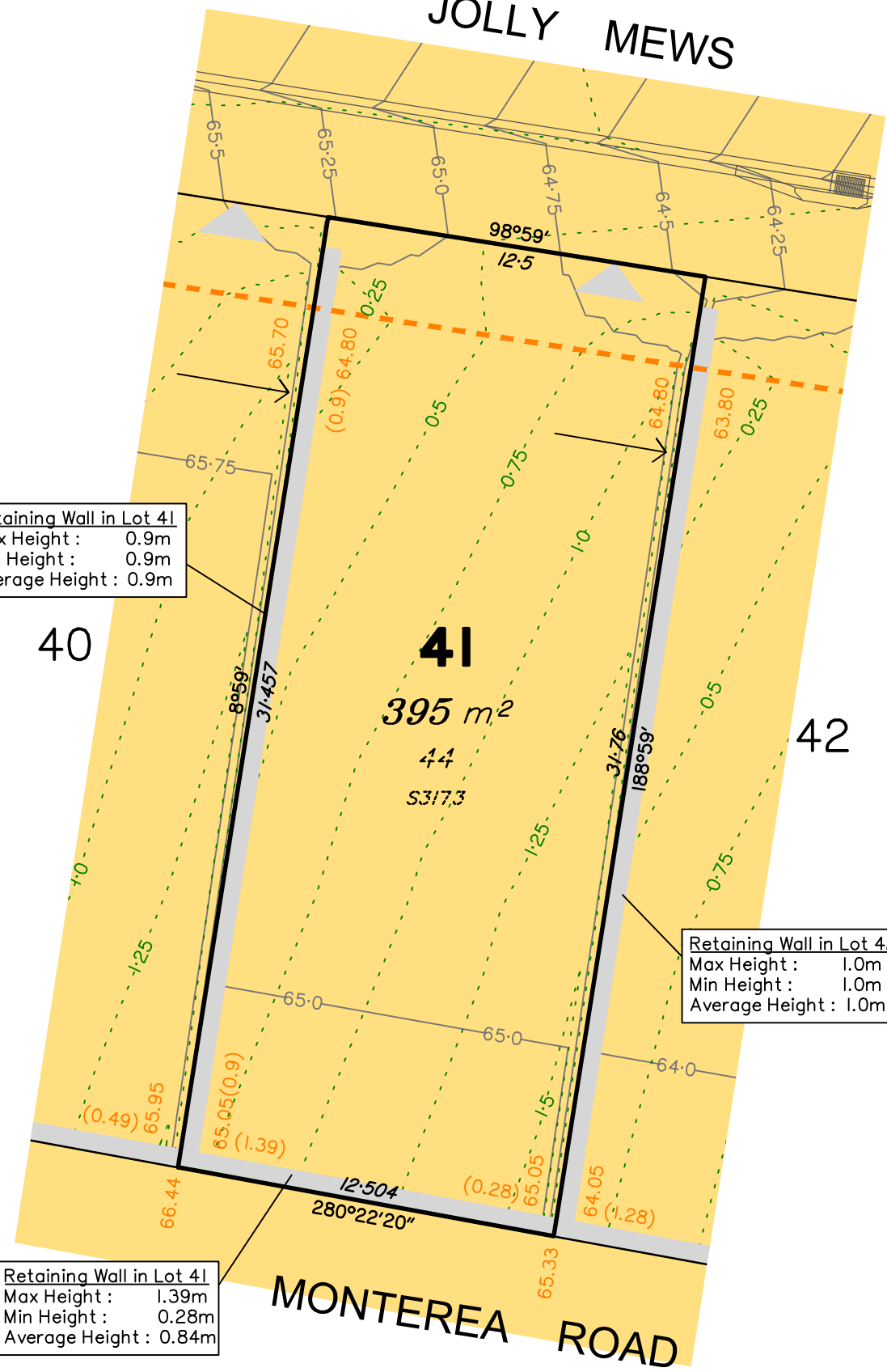


# STAGE 3

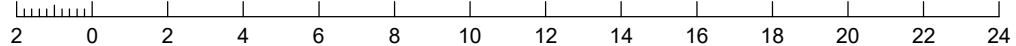
Retaining Wall in Lot 41  
 Max Height : 0.9m  
 Min Height : 0.9m  
 Average Height : 0.9m

Retaining Wall in Lot 42  
 Max Height : 1.0m  
 Min Height : 1.0m  
 Average Height : 1.0m

Retaining Wall in Lot 41  
 Max Height : 1.39m  
 Min Height : 0.28m  
 Average Height : 0.84m



SCALE @A3 1:200 - LENGTHS ARE IN METRES



## LEGEND

- Area of Fill
  - Area of Cut
  - Design Contours
  - Depth of Fill Contours
  - Proposed Retaining Wall (Height shown in brackets on lower side)
  - Finished Design Surface Level
  - Earthworks Pad Extents
  - Built to Boundary Location
  - Future Development Lot Boundary
  - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

## NOTES

This plan has been prepared from preliminary survey plan (SP330363) and engineering plans provided on the 30/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 41 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

No.	by	Date	Chkd	Description
A	TBG	19/08/21	CU	Original Issue
B	TBG	23/09/21	WH	Monterea Rd dedication added



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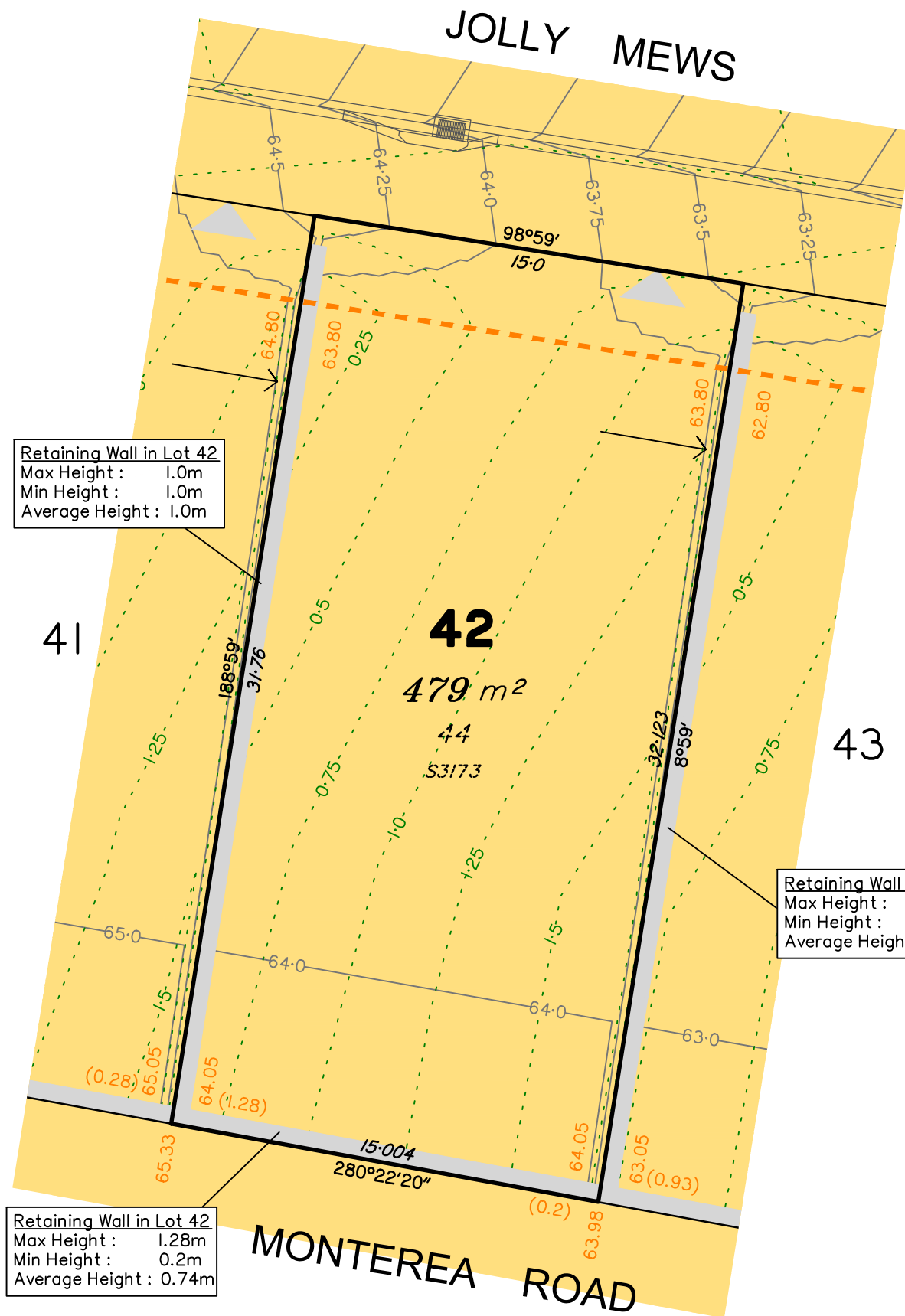
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**Disclosure Plan for Proposed Lot 41 (Restricted) on SP330363**  
 Described as part of Lot 1001 (Restricted) on SP317679  
 Existing Title Reference: 51219231  
 Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
 Origin of Levels: PSM 49894  
 RL of Origin: 62.350  
 Contour Interval: 0.25m  
 Scale @A3 1: 200  
 Dwg No. 9780 S 17 DP B\_41



### STAGE 3



Retaining Wall in Lot 42  
 Max Height : 1.0m  
 Min Height : 1.0m  
 Average Height : 1.0m

Retaining Wall in Lot 43  
 Max Height : 1.0m  
 Min Height : 1.0m  
 Average Height : 1.0m

Retaining Wall in Lot 42  
 Max Height : 1.28m  
 Min Height : 0.2m  
 Average Height : 0.74m

### LEGEND

- Area of Fill
  - Area of Cut
  - Design Contours
  - Depth of Fill Contours
  - Proposed Retaining Wall (Height shown in brackets on lower side)
  - Finished Design Surface Level
  - Earthworks Pad Extents
  - Built to Boundary Location
  - Future Development Lot Boundary
  - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

### NOTES

This plan has been prepared from preliminary survey plan (SP330363) and engineering plans provided on the 30/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 42 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

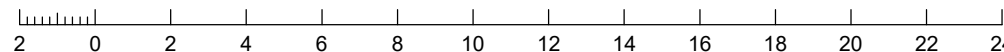
Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

No.	by	Date	Chkd	Description
A	TBG	19/08/21	CU	Original Issue
B	TBG	23/09/21	WH	Monterea Rd dedication added



SCALE @A3 1:200 - LENGTHS ARE IN METRES



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### Disclosure Plan for Proposed Lot 42 (Restricted) on SP330363

Described as part of Lot 1001 (Restricted) on SP317679  
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
 Origin of Levels: PSM 49894  
 RL of Origin: 62.350  
 Contour Interval: 0.25m

Scale @A3 1: 200  
 Dwg No. 9780 S 17 DP B\_42





# STAGE 3

## LEGEND

- Area of Fill
  - Area of Cut
  - Design Contours
  - Depth of Fill Contours
  - Proposed Retaining Wall (Height shown in brackets on lower side)
  - XX.XX Finished Design Surface Level
  - Earthworks Pad Extents
  - Built to Boundary Location
  - Future Development Lot Boundary
  - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

## NOTES

This plan has been prepared from preliminary survey plan (SP330363) and engineering plans provided on the 30/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

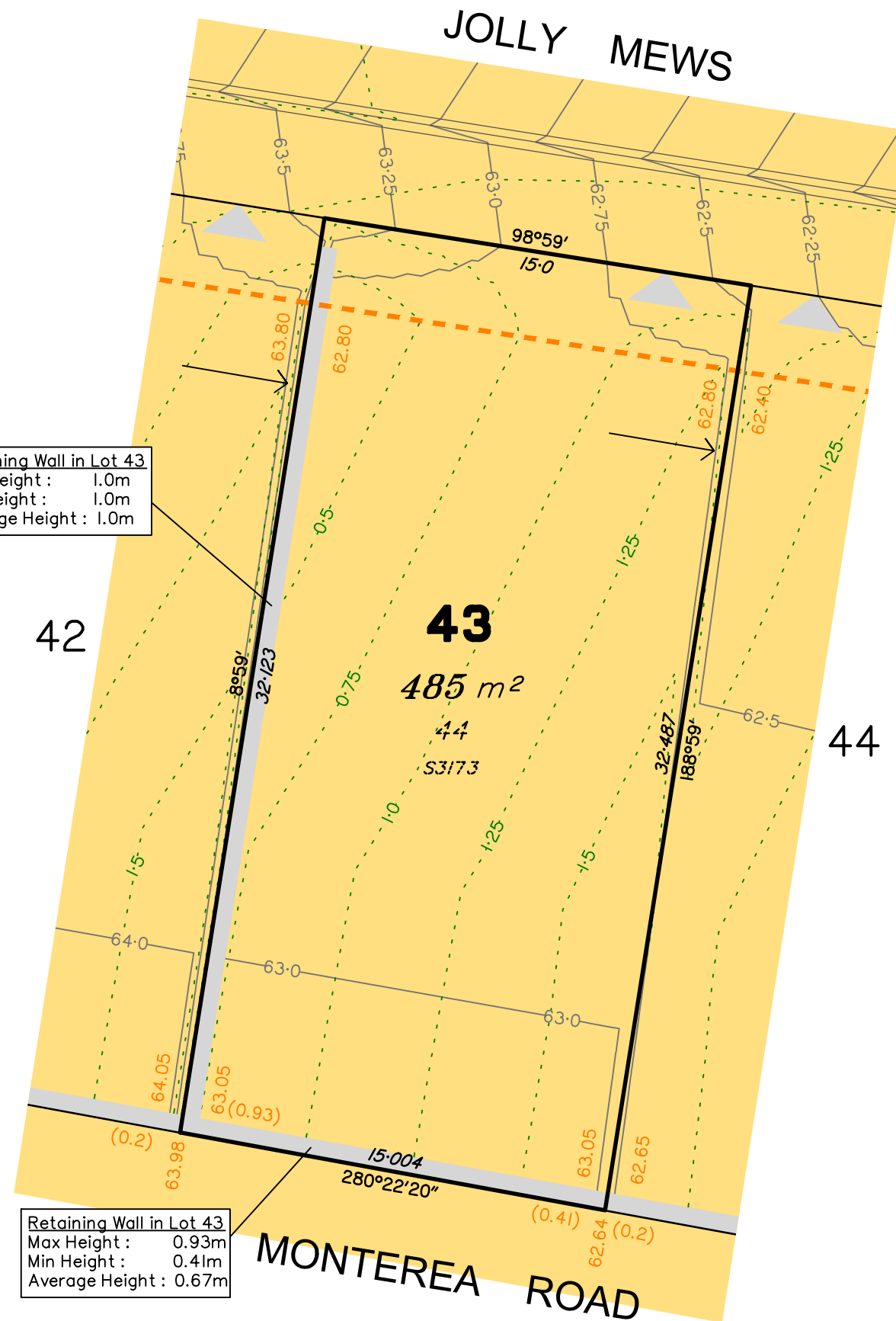
At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 43 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

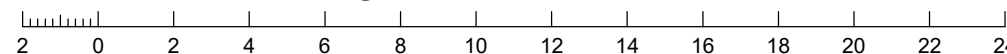
All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.



Retaining Wall in Lot 43  
 Max Height : 1.0m  
 Min Height : 1.0m  
 Average Height : 1.0m

Retaining Wall in Lot 43  
 Max Height : 0.93m  
 Min Height : 0.41m  
 Average Height : 0.67m

SCALE @A3 1:200 - LENGTHS ARE IN METRES



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## Disclosure Plan for Proposed Lot 43 (Restricted) on SP330363

Described as part of Lot 1001 (Restricted) on SP317679  
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
 Origin of Levels: PSM 49894  
 RL of Origin: 62.350  
 Contour Interval: 0.25m

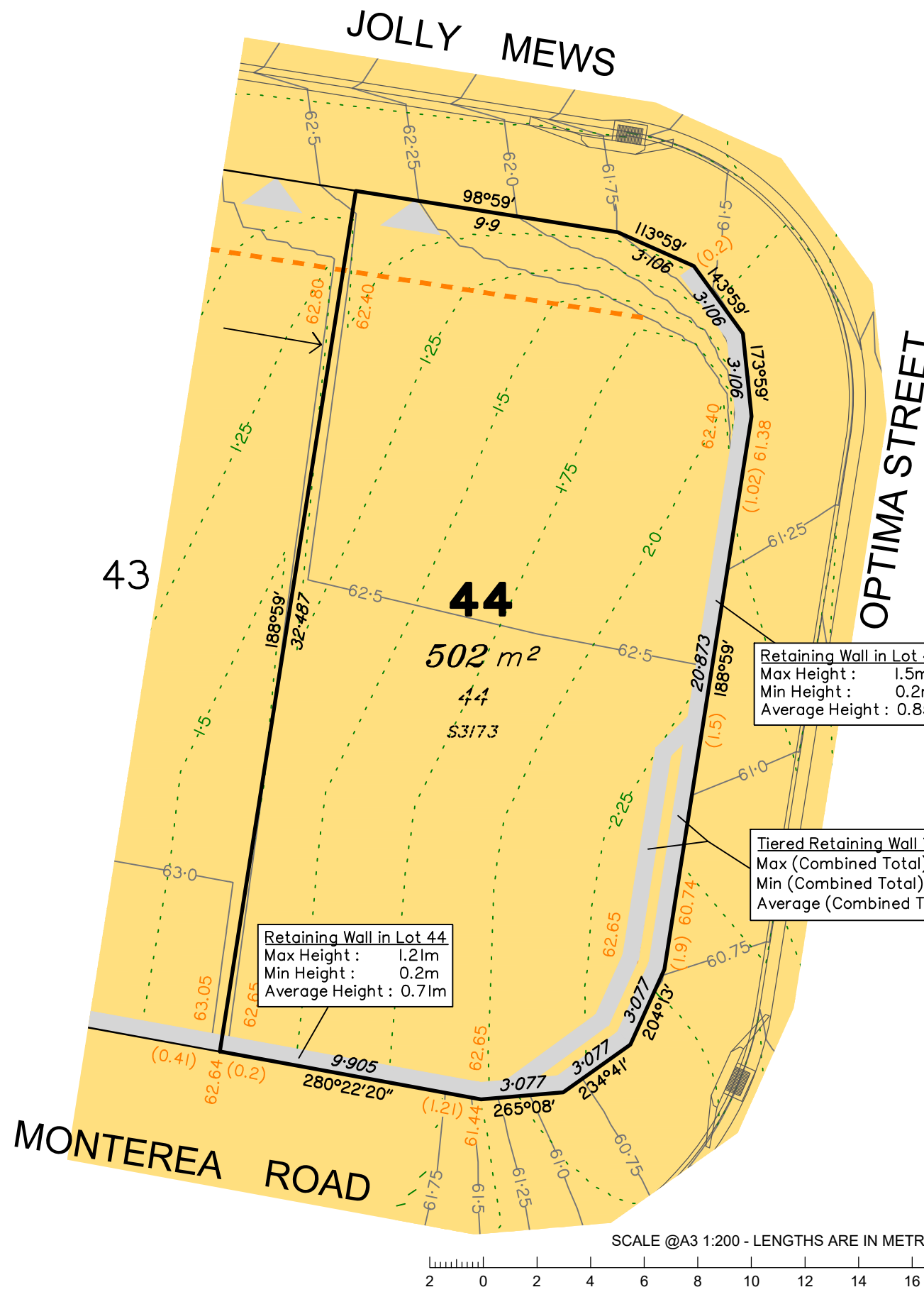
Scale @A3 1: 200

Dwg No. 9780 S 17 DP B\_43

No.	by	Date	Chkd	Description
A	TBG	19/08/21	CU	Original Issue
B	TBG	23/09/21	WH	Monterea Rd dedication added



# STAGE 3



## LEGEND

- Area of Fill
  - Area of Cut
  - Design Contours
  - - - Depth of Fill Contours
  - Proposed Retaining Wall  
(Height shown in brackets on lower side)
  - XX.XX Finished Design Surface Level
  - - - Earthworks Pad Extents
  - ← Built to Boundary Location
  - - - Future Development Lot Boundary
  - ▲ Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

## NOTES

This plan has been prepared from preliminary survey plan (SP330363) and engineering plans provided on the 30/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 44 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

No.	by	Date	Chkd	Description
A	TBG	19/08/21	CU	Original Issue
B	TBG	23/09/21	WH	Montereia Rd dedication added



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## Disclosure Plan for Proposed Lot 44 (Restricted) on SP330363

Described as part of Lot 1001 (Restricted) on SP317679  
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

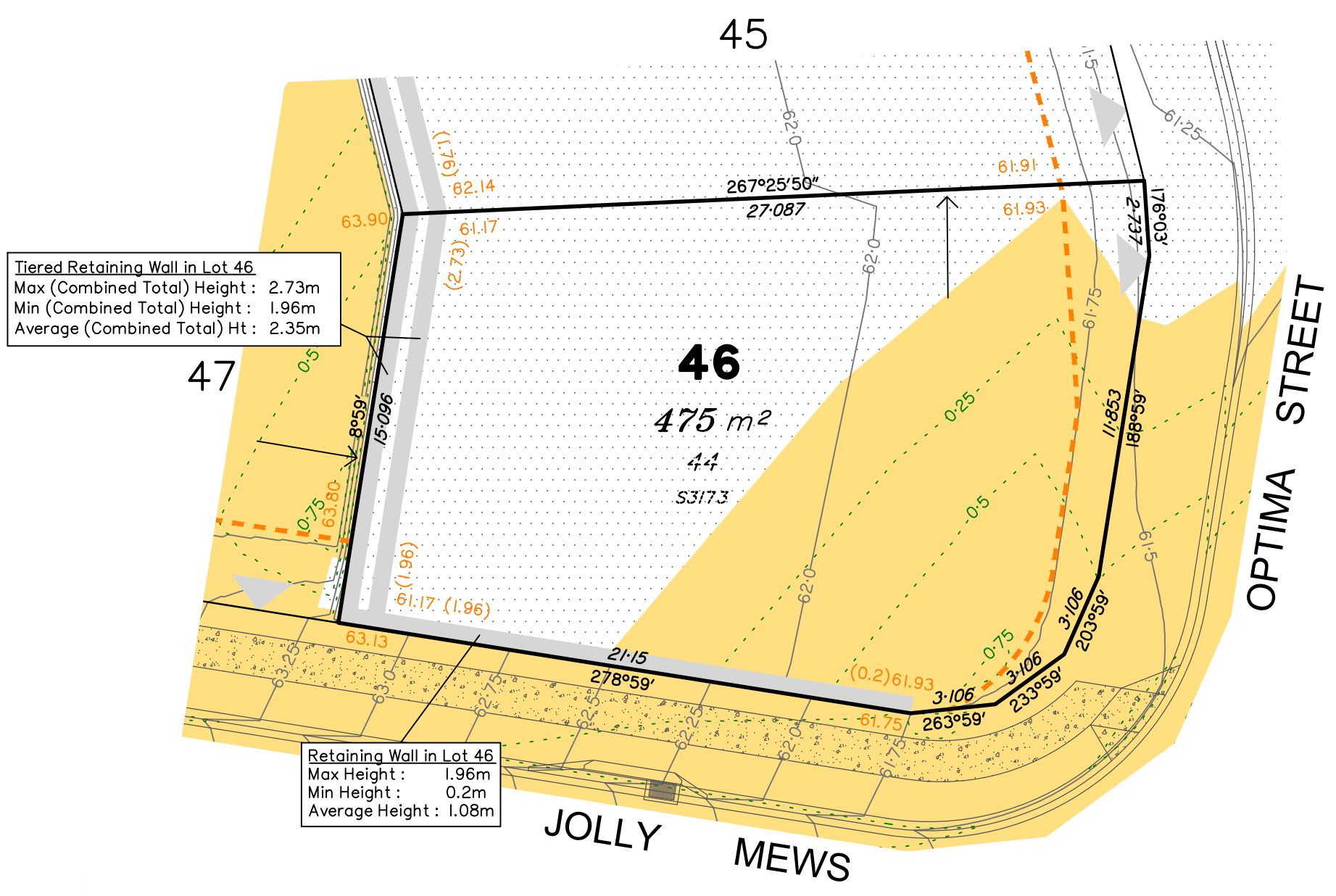
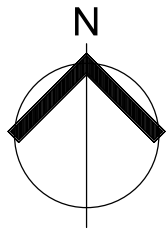
Level Datum: AHD der.  
 Origin of Levels: PSM 49894  
 RL of Origin: 62.350  
 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 17 DP B\_44



# STAGE 3



**Tiered Retaining Wall in Lot 46**  
 Max (Combined Total) Height : 2.73m  
 Min (Combined Total) Height : 1.96m  
 Average (Combined Total) Ht : 2.35m

**Retaining Wall in Lot 46**  
 Max Height : 1.96m  
 Min Height : 0.2m  
 Average Height : 1.08m

- ### LEGEND
- Area of Fill
  - Area of Cut
  - Design Contours
  - Depth of Fill Contours
  - Proposed Retaining Wall (Height shown in brackets on lower side)
  - Finished Design Surface Level
  - Earthworks Pad Extents
  - Built to Boundary Location
  - Future Development Lot Boundary
  - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

### NOTES

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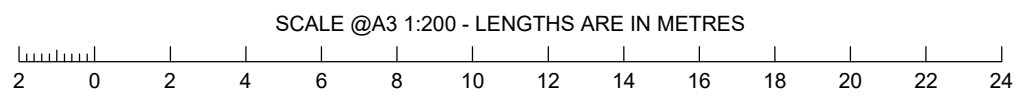
At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 46 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.



No.	by	Date	Chkd	Description
A	TBG	19/08/21	CU	Original Issue

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 head office 9 Thompson St Bowen Hills Q 4006  
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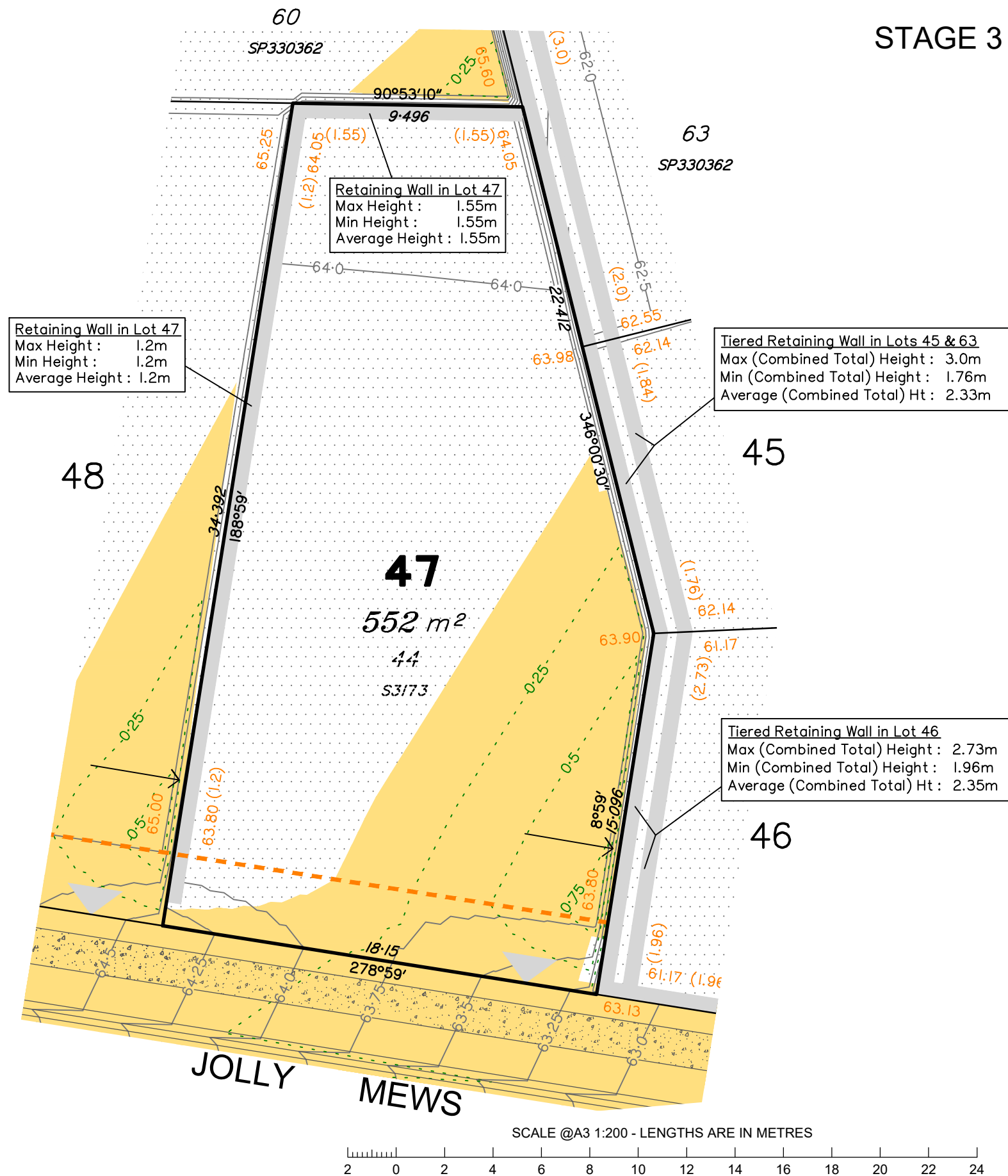
This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

**Disclosure Plan for Proposed Lot 46 (Restricted) on SP330363**  
 Described as part of Lot 1001 (Restricted) on SP317679  
 Existing Title Reference: 51219231  
 Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
 Origin of Levels: PSM 49894  
 RL of Origin: 62.350  
 Contour Interval: 0.25m  
 Scale @A3 1: 200  
 Dwg No. 9780 S 17 DP A\_46



# STAGE 3



## LEGEND

- Area of Fill
  - Area of Cut
  - Design Contours
  - Depth of Fill Contours
  - Proposed Retaining Wall (Height shown in brackets on lower side)
  - Finished Design Surface Level
  - Earthworks Pad Extents
  - Built to Boundary Location
  - Future Development Lot Boundary
  - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

## NOTES

This plan has been prepared from preliminary survey plan (SP330363) and engineering plans provided on the 30/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 47 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

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## Disclosure Plan for Proposed Lot 47 (Restricted) on SP330363

Described as part of Lot 1001 (Restricted) on SP317679  
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
 Origin of Levels: PSM 49894  
 RL of Origin: 62.350  
 Contour Interval: 0.25m

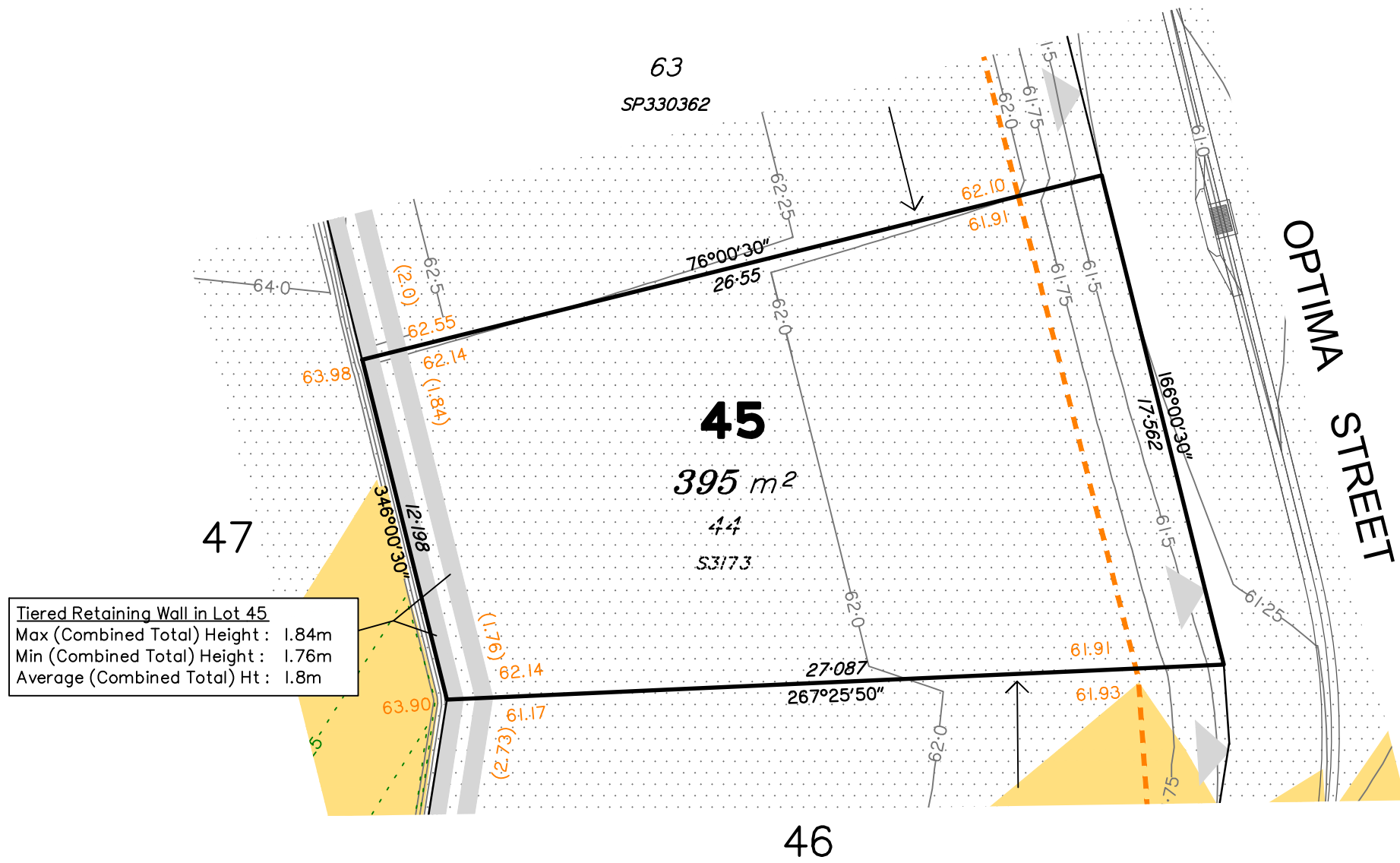
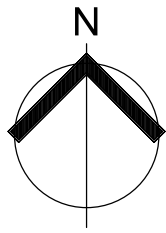
Scale @A3 1: 200

Dwg No. 9780 S 17 DP A\_47

No.	by	Date	Chkd	Description
A	TBG	19/08/21	CU	Original Issue



# STAGE 3



Tiered Retaining Wall in Lot 45  
 Max (Combined Total) Height : 1.84m  
 Min (Combined Total) Height : 1.76m  
 Average (Combined Total) Ht : 1.8m

- ### LEGEND
- Area of Fill
  - Area of Cut
  - Design Contours
  - - - - Depth of Fill Contours
  - Proposed Retaining Wall  
(1.5)  
(Height shown in brackets on lower side)
  - XX.XX Finished Design Surface Level
  - - - - Earthworks Pad Extents
  - ← Built to Boundary Location
  - - - - Future Development Lot Boundary
  - ▲ Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

### NOTES

This plan has been prepared from preliminary survey plan (SP330363) and engineering plans provided on the 30/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

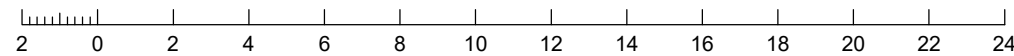
Lot 45 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



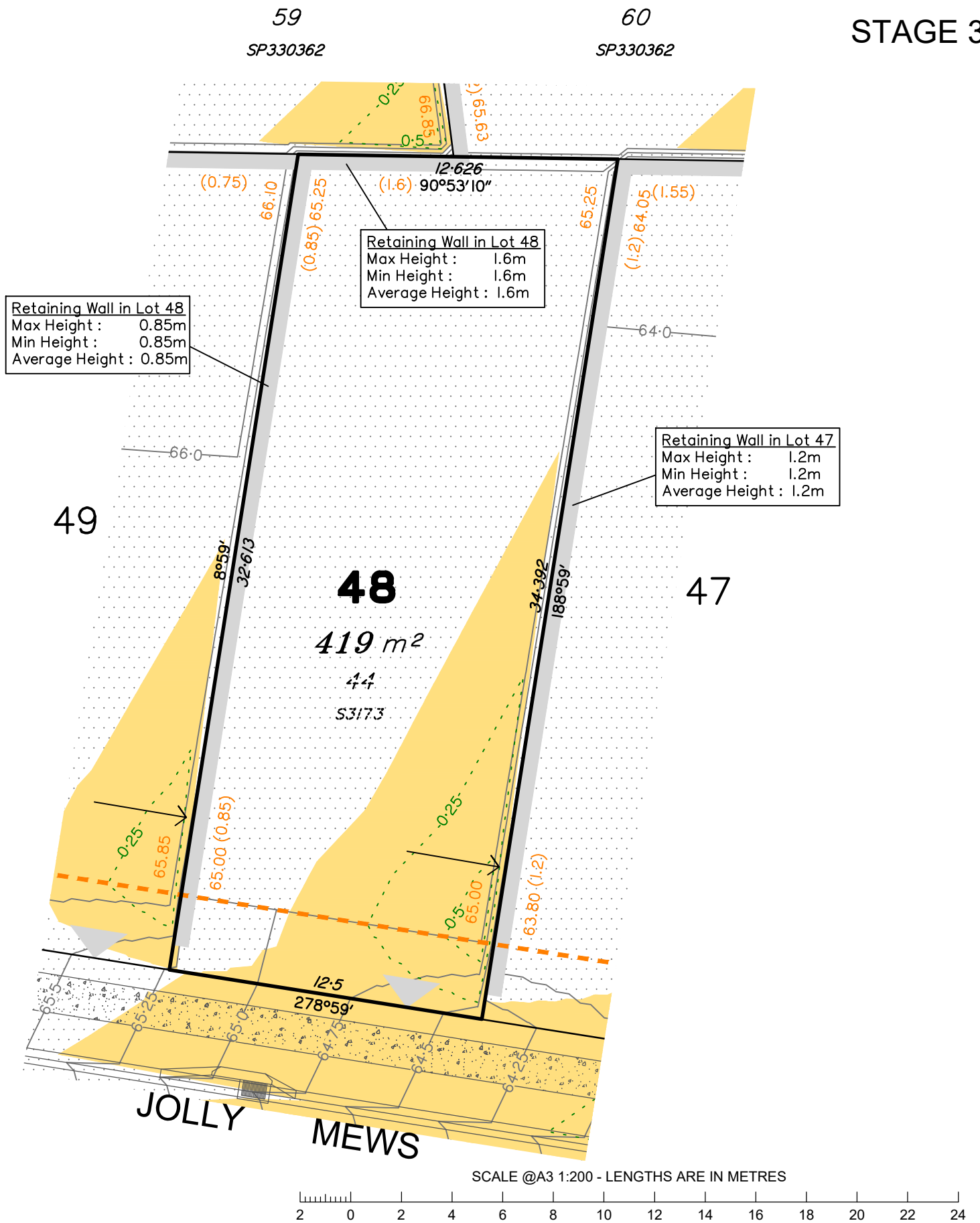
No.	by	Date	Chkd	Description
A	TBG	19/08/21	CU	Original Issue

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**Disclosure Plan for Proposed Lot 45 (Restricted) on SP330363**  
 Described as part of Lot 1001 (Restricted) on SP317679  
 Existing Title Reference: 51219231  
 Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
 Origin of Levels: PSM 49894  
 RL of Origin: 62.350  
 Contour Interval: 0.25m  
 Scale @A3 1: 200  
 Dwg No. 9780 S 17 DP A\_45



### STAGE 3

#### LEGEND

- Area of Fill
  - Area of Cut
  - Design Contours
  - Depth of Fill Contours
  - Proposed Retaining Wall  
(Height shown in brackets on lower side)
  - Finished Design Surface Level
  - Earthworks Pad Extents
  - Built to Boundary Location
  - Future Development Lot Boundary
  - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

#### NOTES

This plan has been prepared from preliminary survey plan (SP330363) and engineering plans provided on the 30/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 48 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

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### Disclosure Plan for Proposed Lot 48 (Restricted) on SP330363

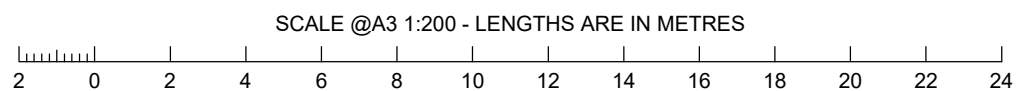
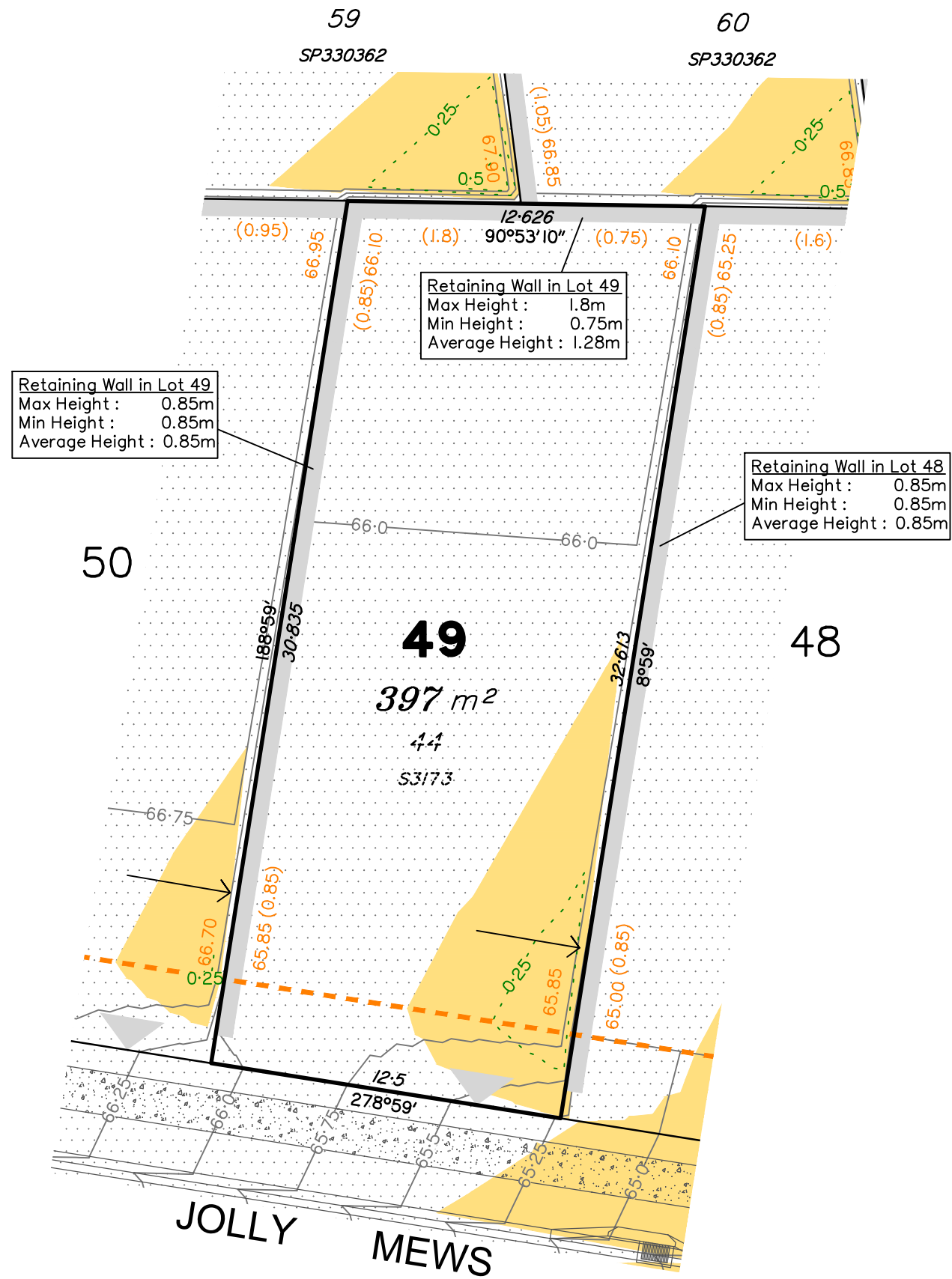
Described as part of Lot 1001 (Restricted) on SP317679  
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
 Origin of Levels: PSM 49894  
 RL of Origin: 62.350  
 Contour Interval: 0.25m  
 Scale @A3 1: 200  
 Dwg No. 9780 S 17 DP A\_48



# STAGE 3



## LEGEND

- Area of Fill
  - Area of Cut
  - Design Contours
  - Depth of Fill Contours
  - Proposed Retaining Wall (Height shown in brackets on lower side)
  - (1.5) Finished Design Surface Level
  - Earthworks Pad Extents
  - ← Built to Boundary Location
  - Future Development Lot Boundary
  - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

## NOTES

This plan has been prepared from preliminary survey plan (SP330363) and engineering plans provided on the 30/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 49 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

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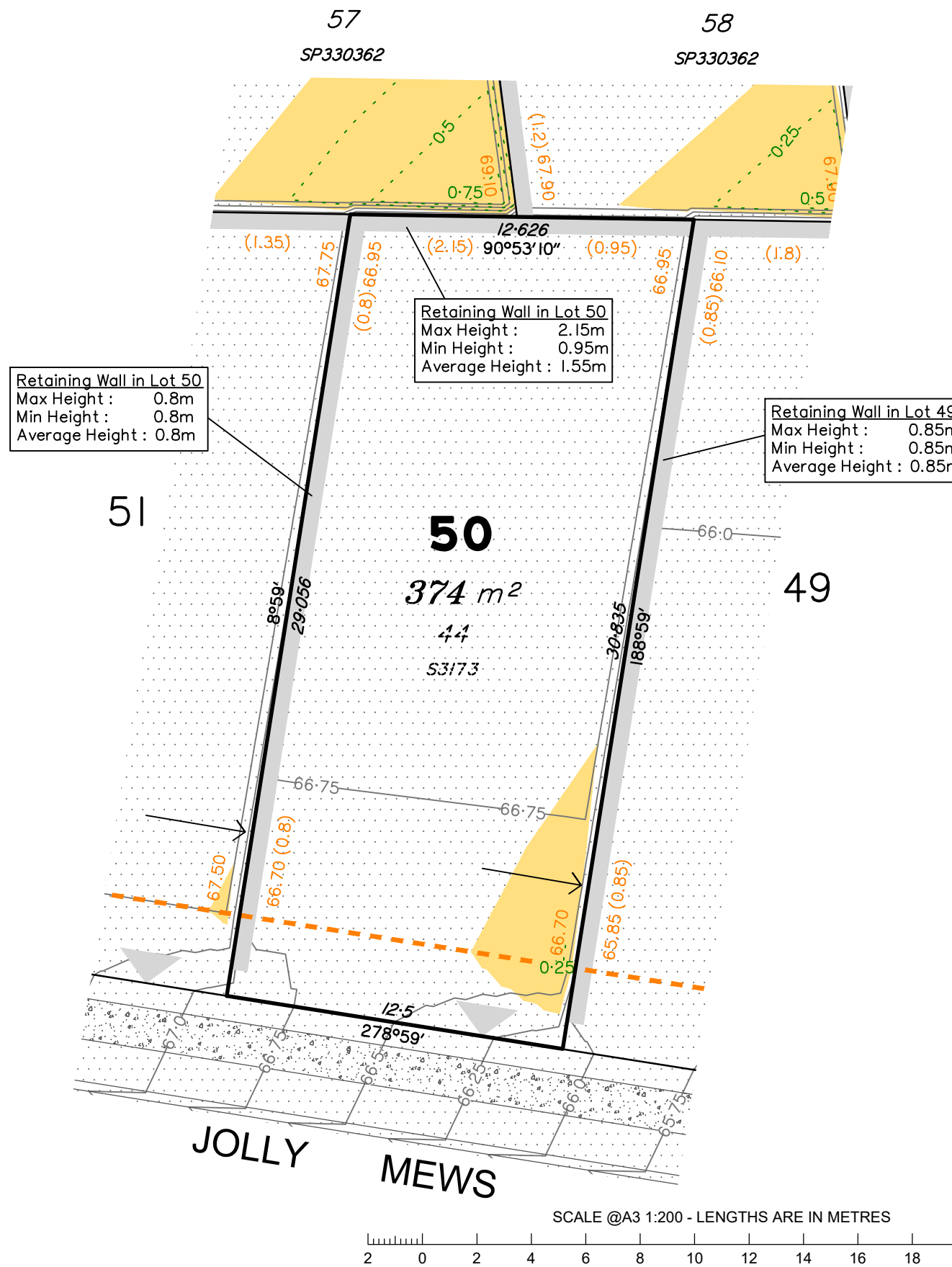
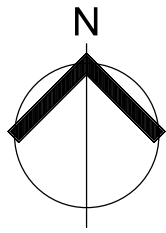
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**Disclosure Plan for Proposed Lot 49 (Restricted) on SP330363**  
 Described as part of Lot 1001 (Restricted) on SP317679  
 Existing Title Reference: 51219231  
 Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
 Origin of Levels: PSM 49894  
 RL of Origin: 62.350  
 Contour Interval: 0.25m  
 Scale @A3 1: 200  
 Dwg No. 9780 S 17 DP A\_49



# STAGE 3



## LEGEND

- Area of Fill
  - Area of Cut
  - Design Contours
  - Depth of Fill Contours
  - Proposed Retaining Wall (Height shown in brackets on lower side)
  - Finished Design Surface Level
  - Earthworks Pad Extents
  - Built to Boundary Location
  - Future Development Lot Boundary
  - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

## NOTES

This plan has been prepared from preliminary survey plan (SP330363) and engineering plans provided on the 30/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 50 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

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## Disclosure Plan for Proposed Lot 50 (Restricted) on SP330363

Described as part of Lot 1001 (Restricted) on SP317679  
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
 Origin of Levels: PSM 49894  
 RL of Origin: 62.350  
 Contour Interval: 0.25m

Scale @A3 1: 200

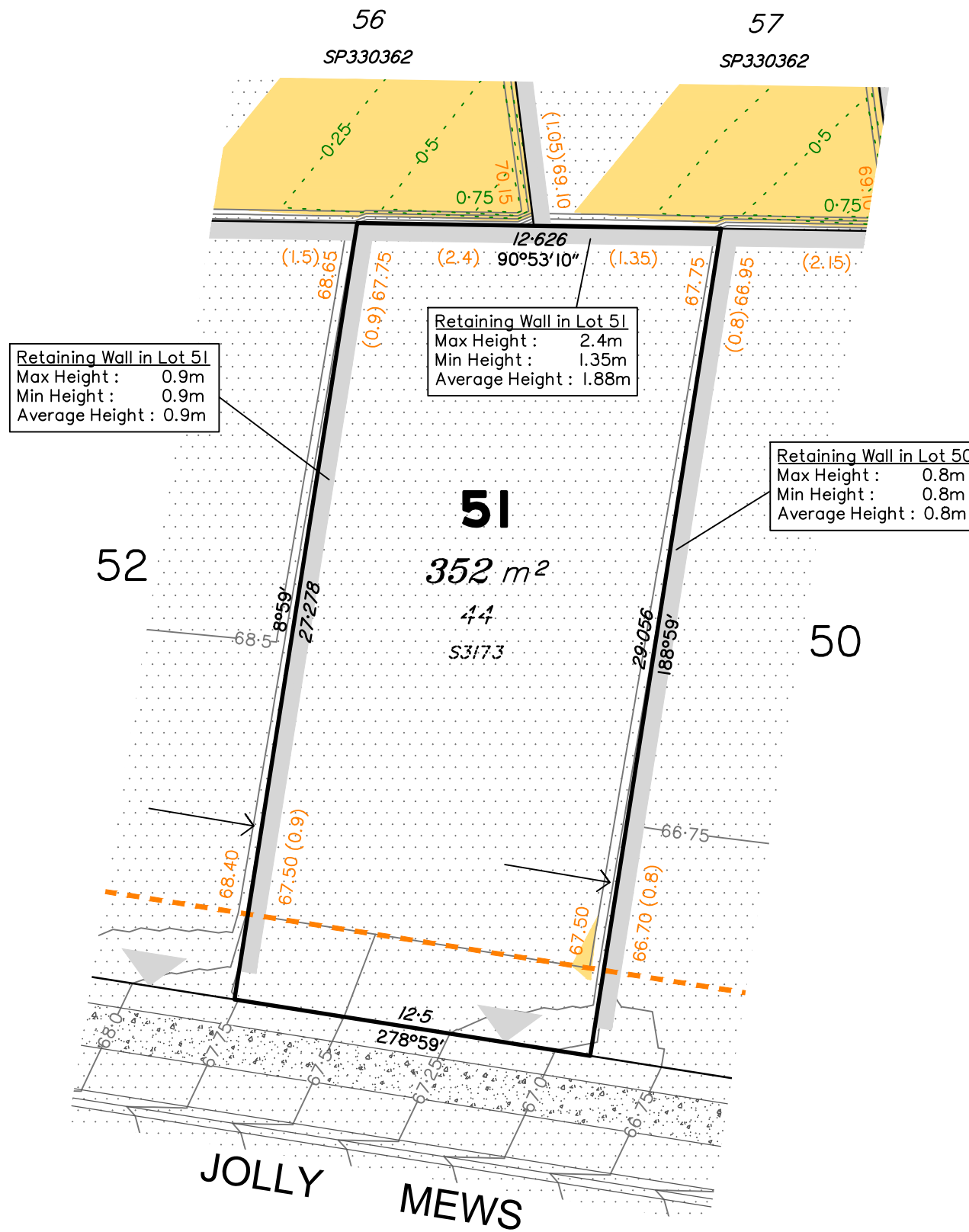
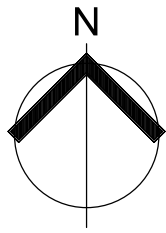
Dwg No. 9780 S 17 DP A\_50

No.	by	Date	Chkd	Description
A	TBG	19/08/21	CU	Original Issue





# STAGE 3



## LEGEND

- Area of Fill
  - Area of Cut
  - Design Contours
  - - - Depth of Fill Contours
  - Proposed Retaining Wall (Height shown in brackets on lower side)
  - XX.XX Finished Design Surface Level
  - - - Earthworks Pad Extents
  - ← Built to Boundary Location
  - - - Future Development Lot Boundary
  - ▲ Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

## NOTES

This plan has been prepared from preliminary survey plan (SP330363) and engineering plans provided on the 30/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

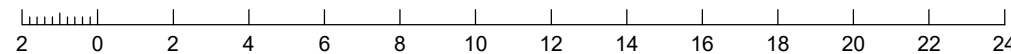
Lot 51 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



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## Disclosure Plan for Proposed Lot 51 (Restricted) on SP330363

Described as part of Lot 1001 (Restricted) on SP317679  
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

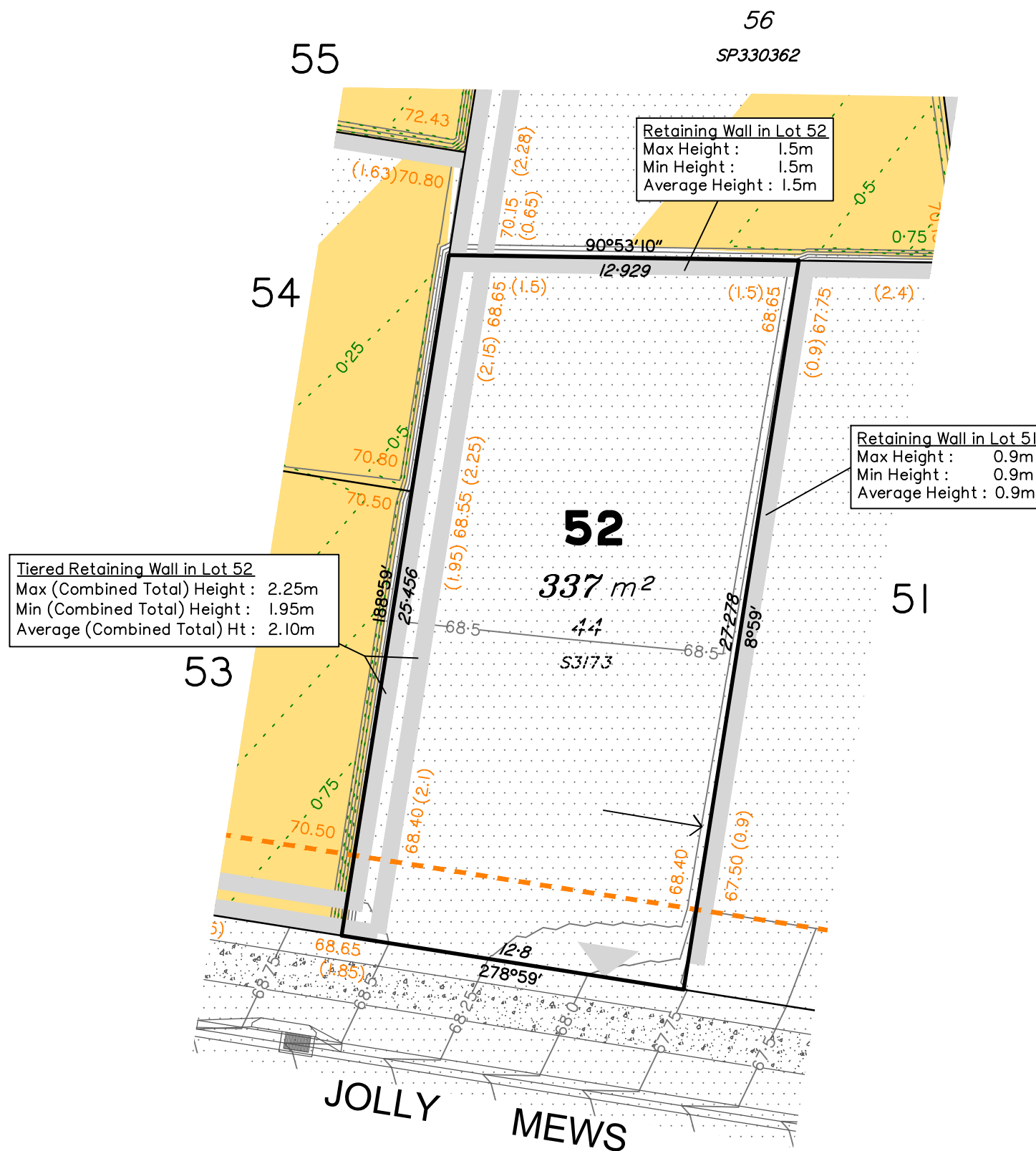
Level Datum: AHD der.  
 Origin of Levels: PSM 49894  
 RL of Origin: 62.350  
 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 17 DP A\_51



# STAGE 3



## LEGEND

- Area of Fill
  - Area of Cut
  - Design Contours
  - Depth of Fill Contours
  - Proposed Retaining Wall (Height shown in brackets on lower side)
  - (1.5) Finished Design Surface Level
  - Earthworks Pad Extents
  - Built to Boundary Location
  - Future Development Lot Boundary
  - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

## NOTES

This plan has been prepared from preliminary survey plan (SP330363) and engineering plans provided on the 30/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

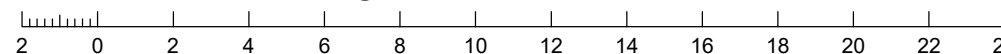
Lot 52 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



No.	by	Date	Chkd	Description
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## Disclosure Plan for Proposed Lot 52 (Restricted) on SP330363

Described as part of Lot 1001 (Restricted) on SP317679  
 Existing Title Reference: 51219231

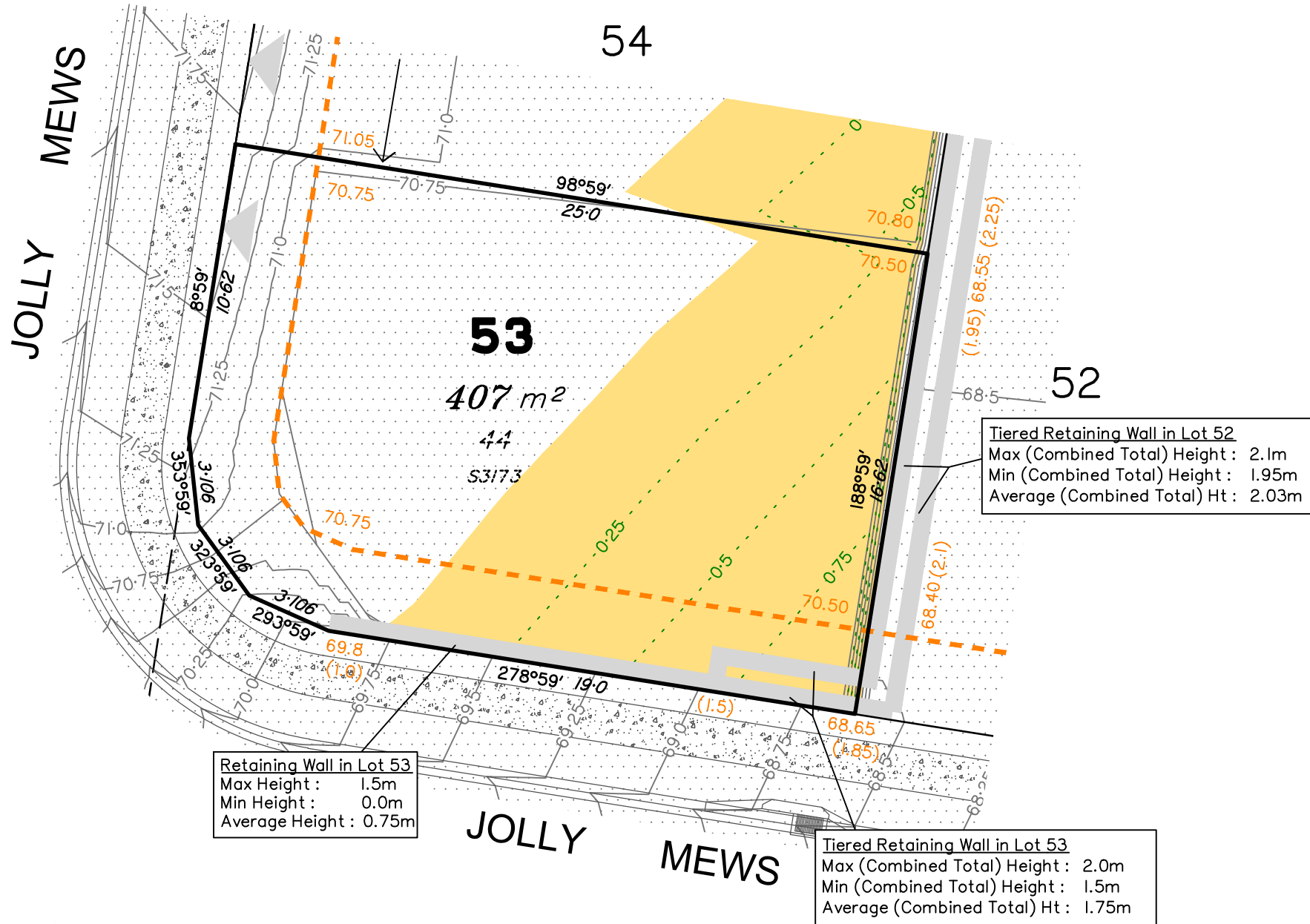
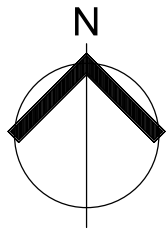
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
 Origin of Levels: PSM 49894  
 RL of Origin: 62.350  
 Contour Interval: 0.25m

Scale @A3 1: 200  
 Dwg No. 9780 S 17 DP A\_52



# STAGE 3



## LEGEND

- Area of Fill
  - Area of Cut
  - Design Contours
  - Depth of Fill Contours
  - Proposed Retaining Wall (Height shown in brackets on lower side)
  - Finished Design Surface Level
  - Earthworks Pad Extents
  - Built to Boundary Location
  - Future Development Lot Boundary
  - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

## NOTES

This plan has been prepared from preliminary survey plan (SP330363) and engineering plans provided on the 30/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 53 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

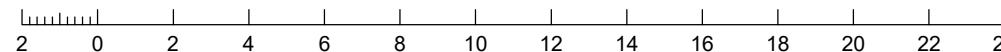
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Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



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## Disclosure Plan for Proposed Lot 53 (Restricted) on SP330363

Described as part of Lot 1001 (Restricted) on SP317679  
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

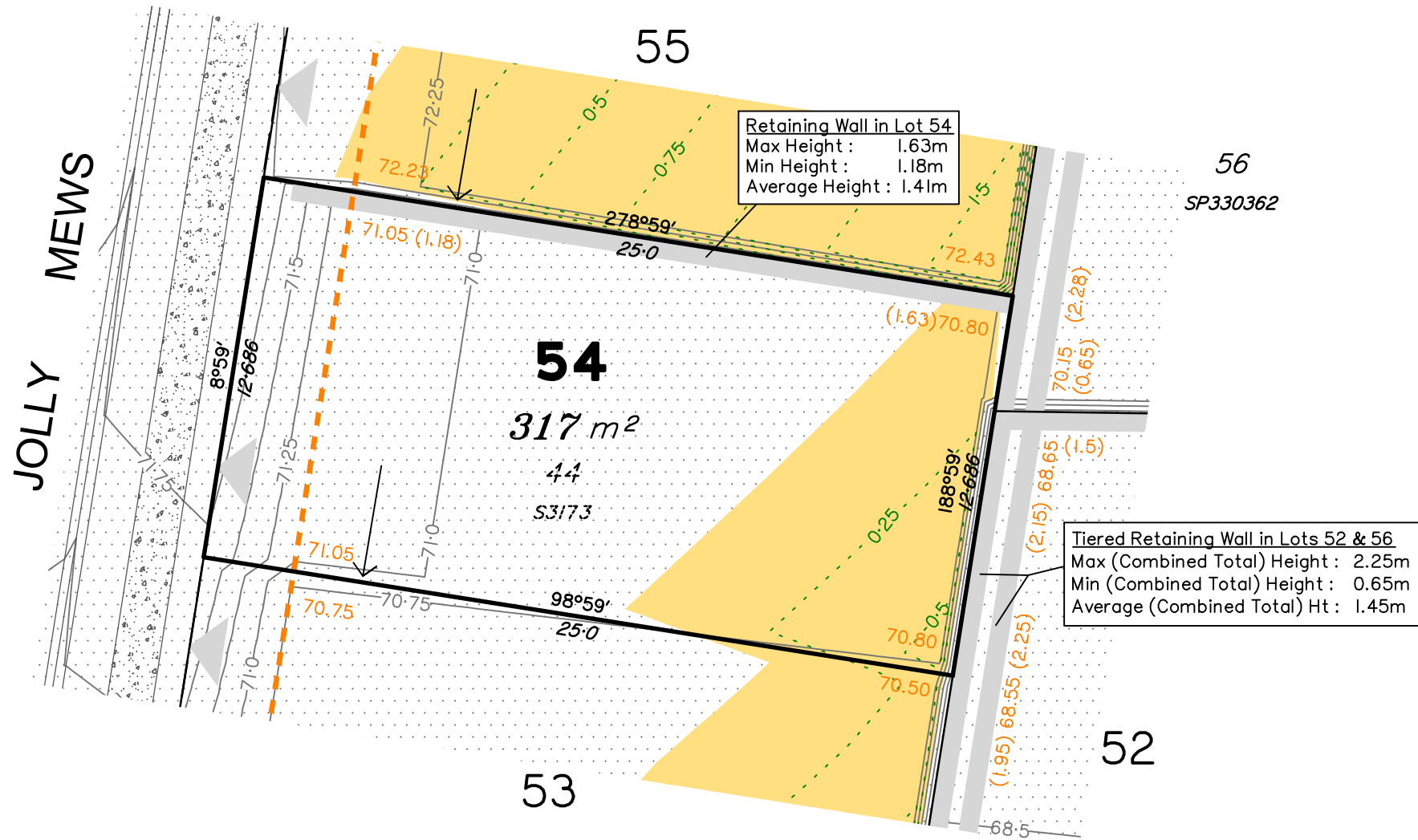
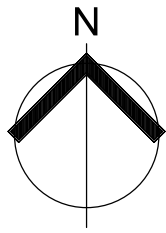
Level Datum: AHD der.  
 Origin of Levels: PSM 49894  
 RL of Origin: 62.350  
 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 17 DP A\_53



# STAGE 3



## LEGEND

- Area of Fill
  - Area of Cut
  - Design Contours
  - Depth of Fill Contours
  - Proposed Retaining Wall (Height shown in brackets on lower side)
  - Finished Design Surface Level
  - Earthworks Pad Extents
  - Built to Boundary Location
  - Future Development Lot Boundary
  - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

## NOTES

This plan has been prepared from preliminary survey plan (SP330363) and engineering plans provided on the 30/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 54 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

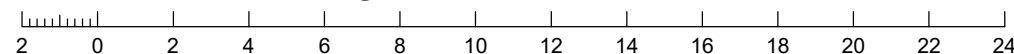
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

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SCALE @A3 1:200 - LENGTHS ARE IN METRES



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## Disclosure Plan for Proposed Lot 54 (Restricted) on SP330363

Described as part of Lot 1001 (Restricted) on SP317679  
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

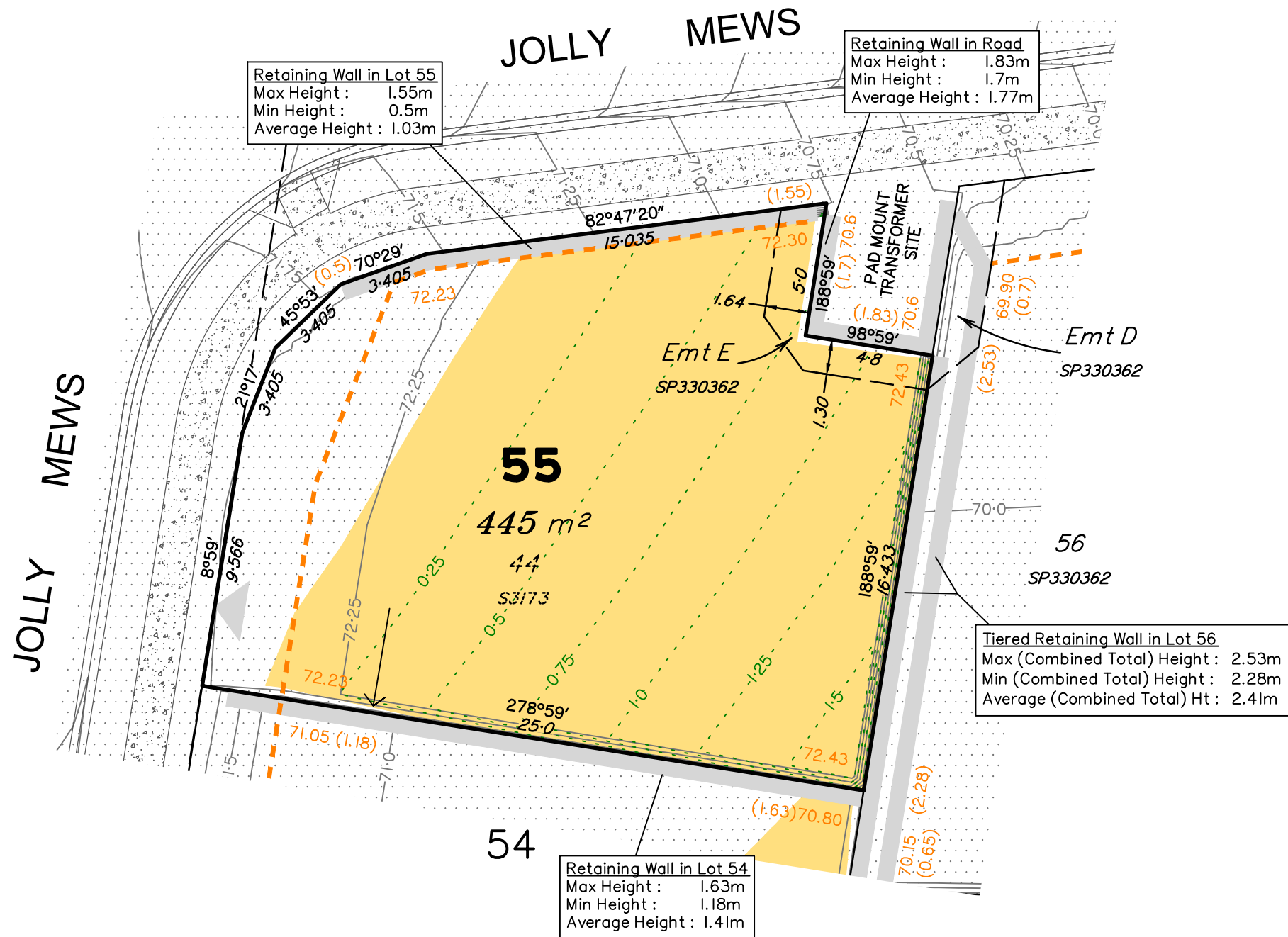
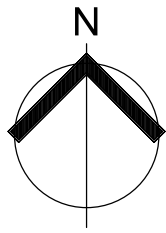
Level Datum: AHD der.  
 Origin of Levels: PSM 49894  
 RL of Origin: 62.350  
 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 17 DP A\_54



# STAGE 3



## LEGEND

- Area of Fill
  - Area of Cut
  - Design Contours
  - - - - Depth of Fill Contours
  - Proposed Retaining Wall (Height shown in brackets on lower side)
  - XX.XX Finished Design Surface Level
  - - - - Earthworks Pad Extents
  - ← Built to Boundary Location
  - - - - Future Development Lot Boundary
  - ▲ Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

## NOTES

This plan has been prepared from preliminary survey plan (SP330363) and engineering plans provided on the 30/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 55 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

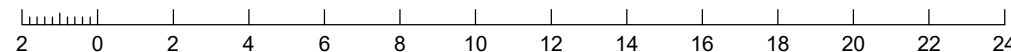
Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

Lot 55 contains Easement E on SP330362 benefiting Energex.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



No.	by	Date	Chkd	Description
A	TBG	19/08/21	CU	Original Issue



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This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

## Disclosure Plan for Proposed Lot 55 (Restricted) on SP330363

Described as part of Lot 1001 (Restricted) on SP317679  
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.  
 Origin of Levels: PSM 49894  
 RL of Origin: 62.350  
 Contour Interval: 0.25m  
 Scale @A3 1: 200  
 Dwg No. 9780 S 17 DP A\_55