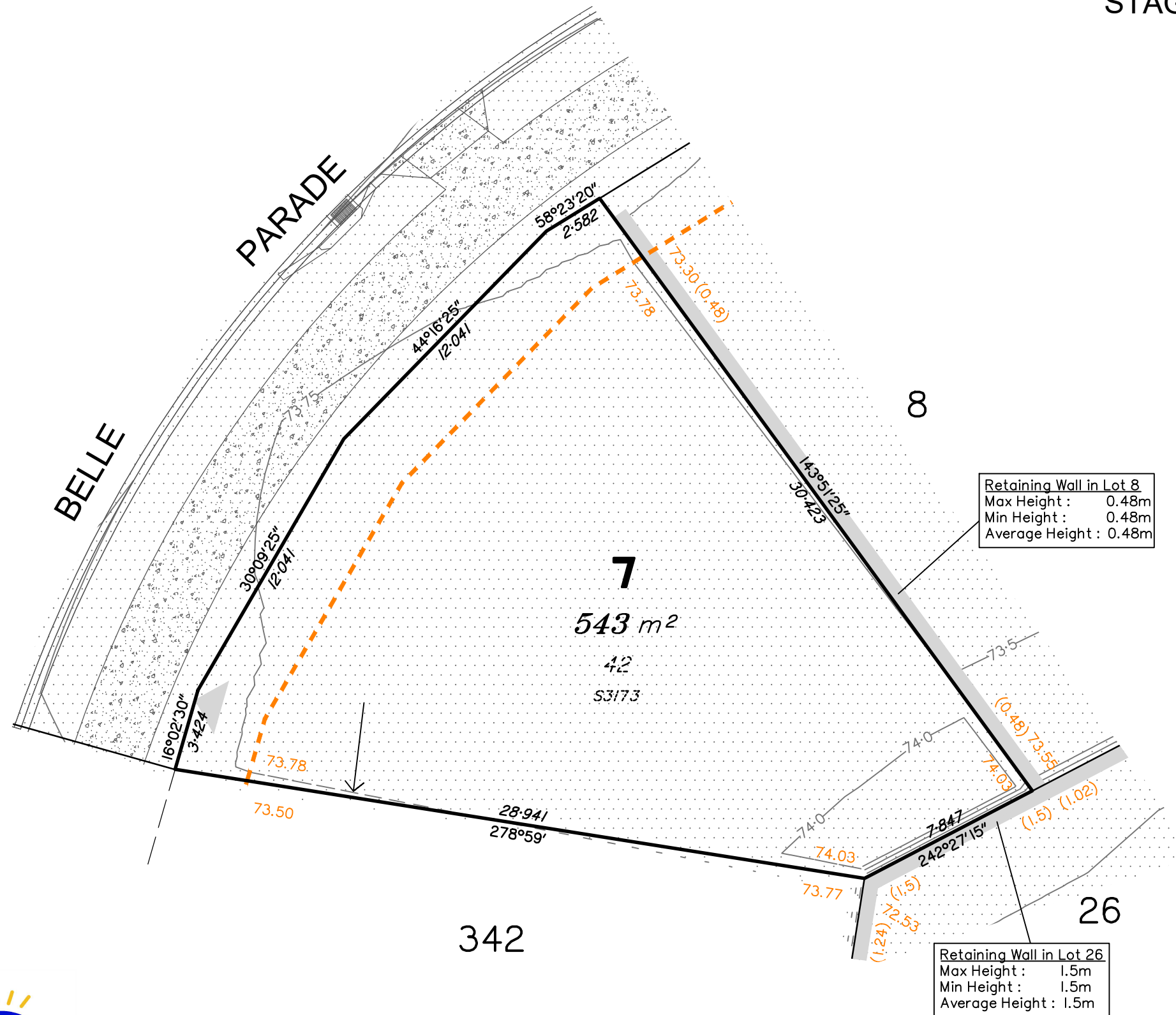


STAGE 2



Retaining Wall in Lot 8
 Max Height : 0.48m
 Min Height : 0.48m
 Average Height : 0.48m

Retaining Wall in Lot 26
 Max Height : 1.5m
 Min Height : 1.5m
 Average Height : 1.5m

LEGEND

- Area of Fill
 - Area of Cut
 - Design Contours
 - - - - - Depth of Fill Contours
 - Proposed Retaining Wall (Height shown in brackets on lower side)
 - XX.XX Finished Design Surface Level
 - - - - - Earthworks Pad Extents
 - ← Built to Boundary Location
 - - - - - Future Development Lot Boundary
 - ▲ Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP330362) and engineering plans provided on the 15/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

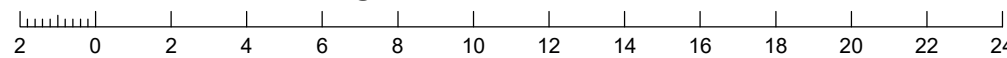
Lot 7 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



No.	by	Date	Chkd	Description
A	TBG	02/08/21	WJH	Original Issue



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 Brisbane Springfield Rockhampton
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Disclosure Plan for Proposed Lot 7 (Restricted) on SP330362

Described as part of Lot 1001 (Restricted) on SP317679
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

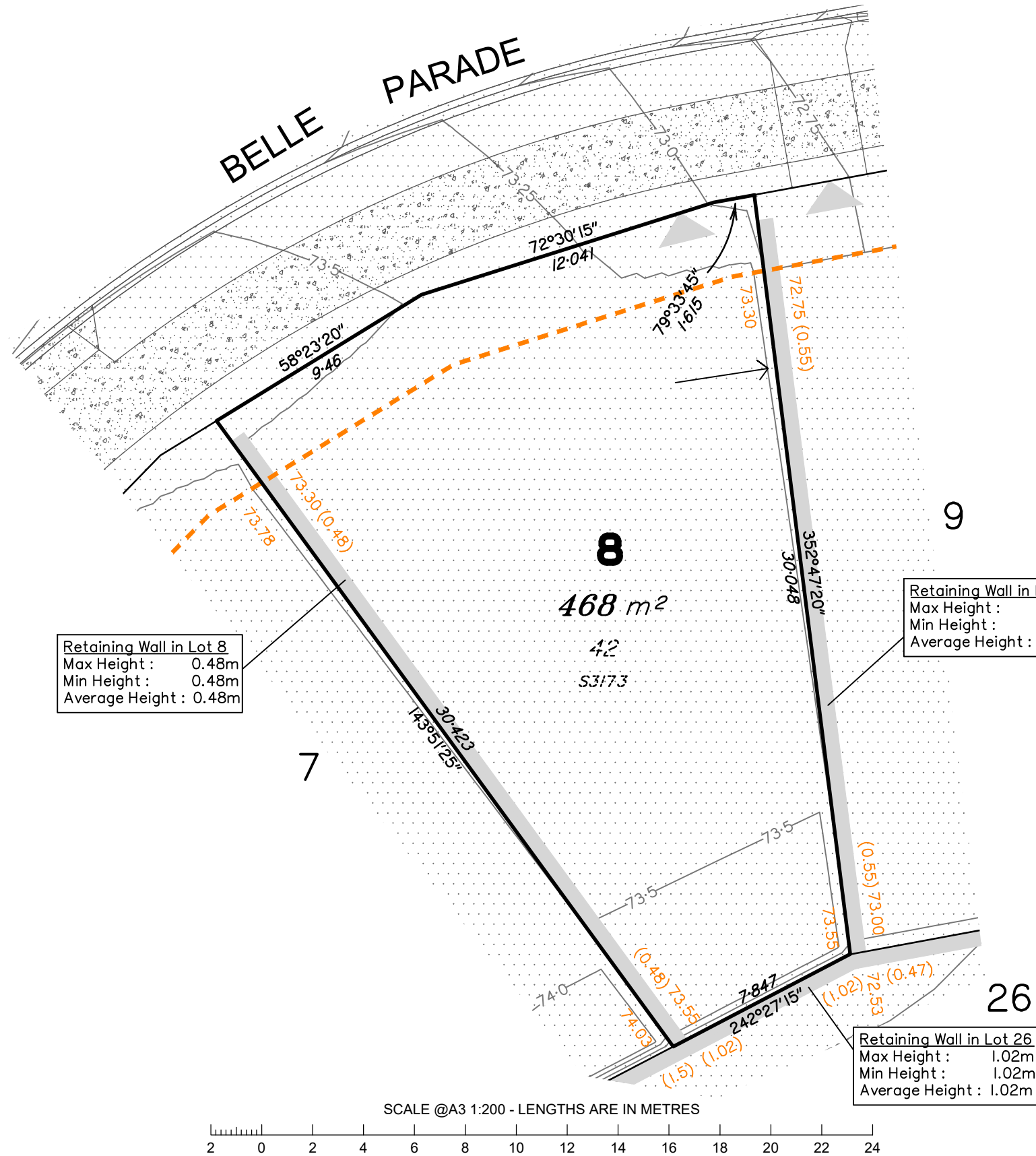
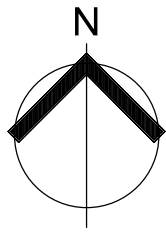
Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 16 DP A_7



STAGE 2



LEGEND

- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Proposed Retaining Wall (1.5)
(Height shown in brackets on lower side)
 - XX.XX Finished Design Surface Level
 - Earthworks Pad Extents
 - Built to Boundary Location
 - Future Development Lot Boundary
 - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 8 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

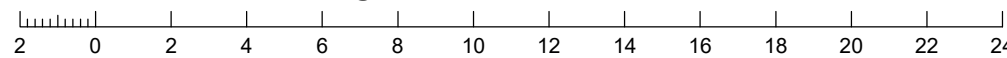
Retaining Wall in Lot 8
Max Height : 0.48m
Min Height : 0.48m
Average Height : 0.48m

Retaining Wall in Lot 9
Max Height : 0.55m
Min Height : 0.55m
Average Height : 0.55m

Retaining Wall in Lot 26
Max Height : 1.02m
Min Height : 1.02m
Average Height : 1.02m



SCALE @A3 1:200 - LENGTHS ARE IN METRES



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Disclosure Plan for Proposed Lot 8 (Restricted) on SP330362

Described as part of Lot 1001 (Restricted) on SP317679
Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

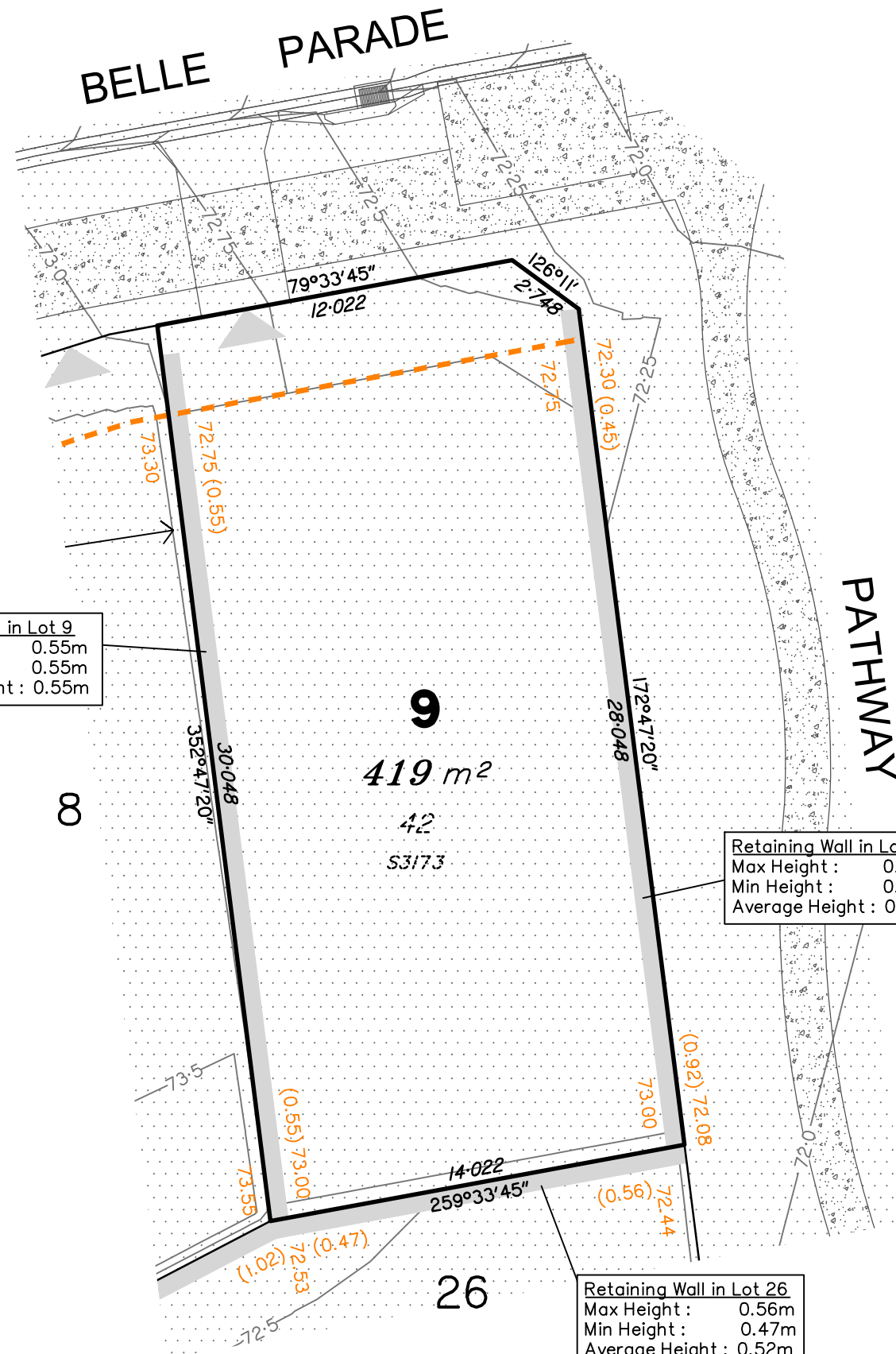
Level Datum: AHD der.
Origin of Levels: PSM 49894
RL of Origin: 62.350
Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 16 DP A_8



STAGE 2

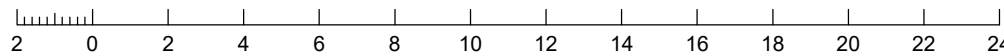


Retaining Wall in Lot 9
 Max Height : 0.55m
 Min Height : 0.55m
 Average Height : 0.55m

Retaining Wall in Lot 9
 Max Height : 0.92m
 Min Height : 0.45m
 Average Height : 0.69m

Retaining Wall in Lot 26
 Max Height : 0.56m
 Min Height : 0.47m
 Average Height : 0.52m

SCALE @A3 1:200 - LENGTHS ARE IN METRES



LEGEND

- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Proposed Retaining Wall (Height shown in brackets on lower side)
 - XX.XX Finished Design Surface Level
 - Earthworks Pad Extents
 - Built to Boundary Location
 - Future Development Lot Boundary
 - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 9 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.



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Disclosure Plan for Proposed Lot 9 (Restricted) on SP330362

Described as part of Lot 1001 (Restricted) on SP317679
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

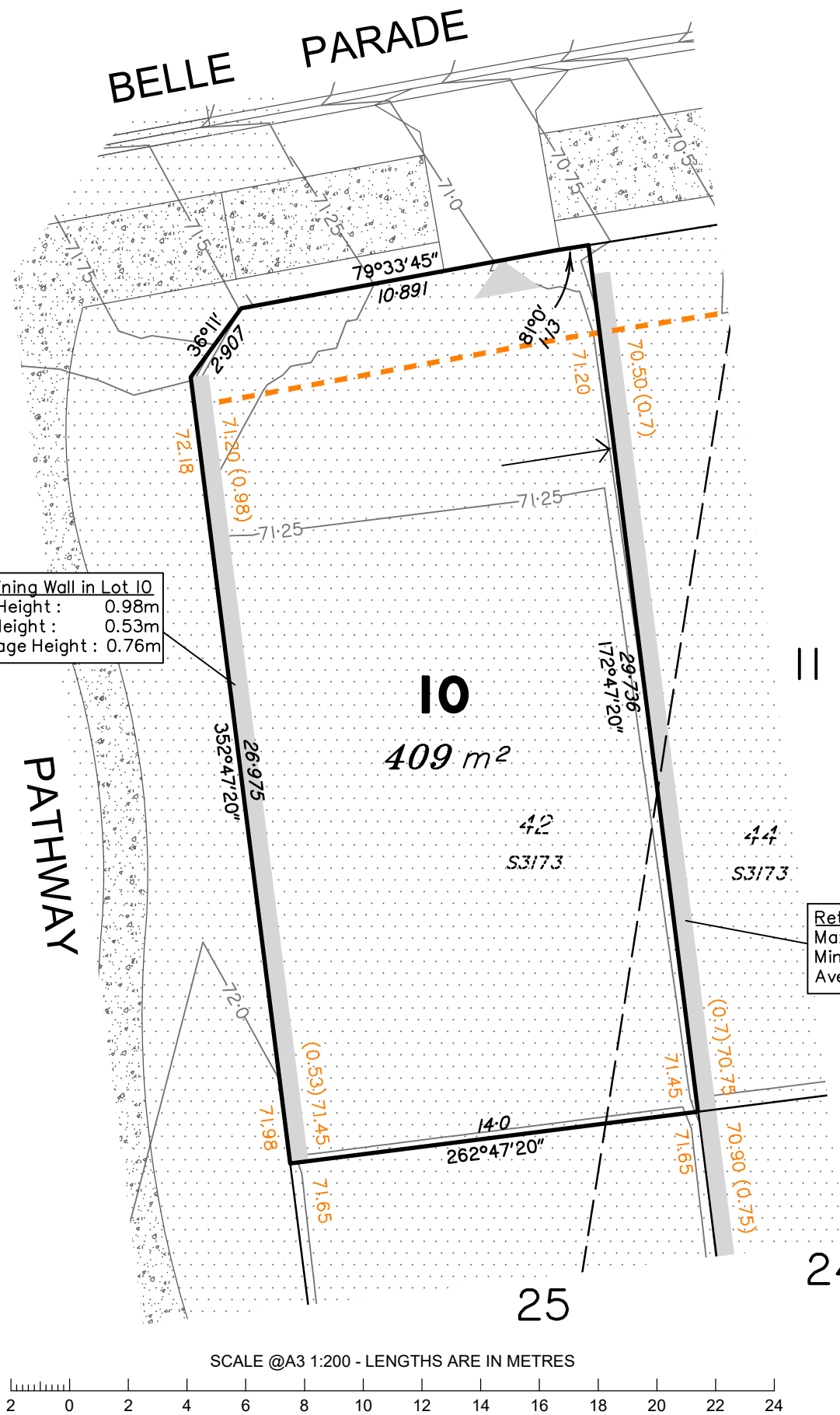
Scale @A3 1: 200

Dwg No. 9780 S 16 DP A_9

No.	by	Date	Chkd	Description
A	TBG	02/08/21	WJH	Original Issue



STAGE 2



LEGEND

- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Proposed Retaining Wall (Height shown in brackets on lower side)
 - XX.XX Finished Design Surface Level
 - Earthworks Pad Extents
 - Built to Boundary Location
 - Future Development Lot Boundary
 - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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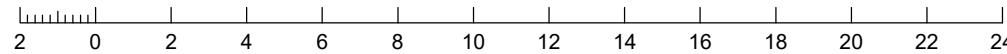
Lot 10 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.



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Disclosure Plan for Proposed Lot 10 (Restricted) on SP330362

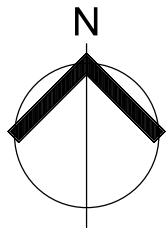
Described as part of Lot 1001 (Restricted) on SP317679
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

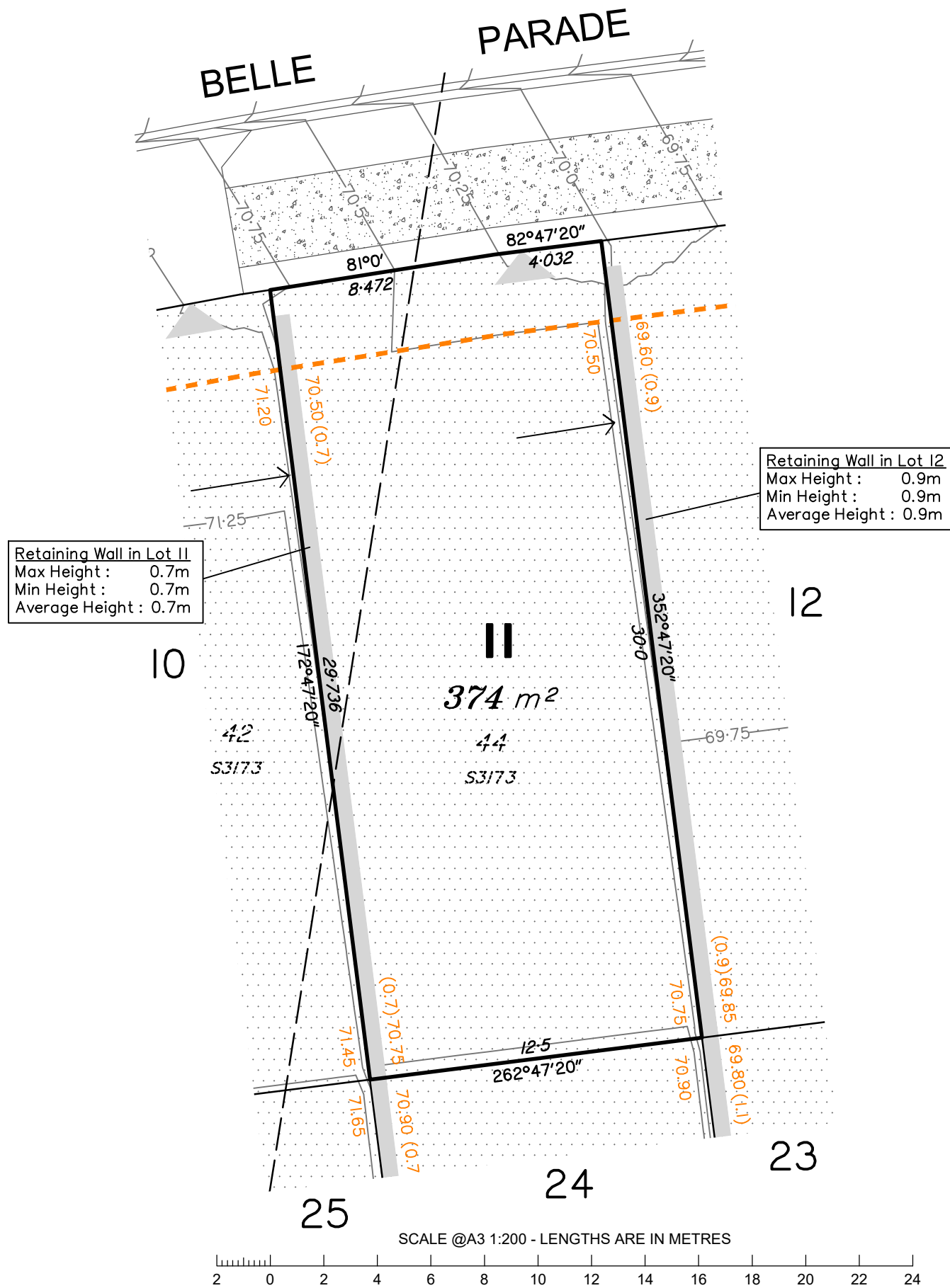
Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 16 DP A_10



STAGE 2



LEGEND

- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Proposed Retaining Wall (Height shown in brackets on lower side)
 - Finished Design Surface Level
 - Earthworks Pad Extents
 - Built to Boundary Location
 - Future Development Lot Boundary
 - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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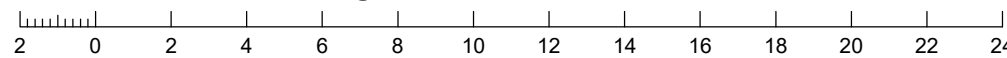
Lot 11 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



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Disclosure Plan for Proposed Lot 11 (Restricted) on SP330362

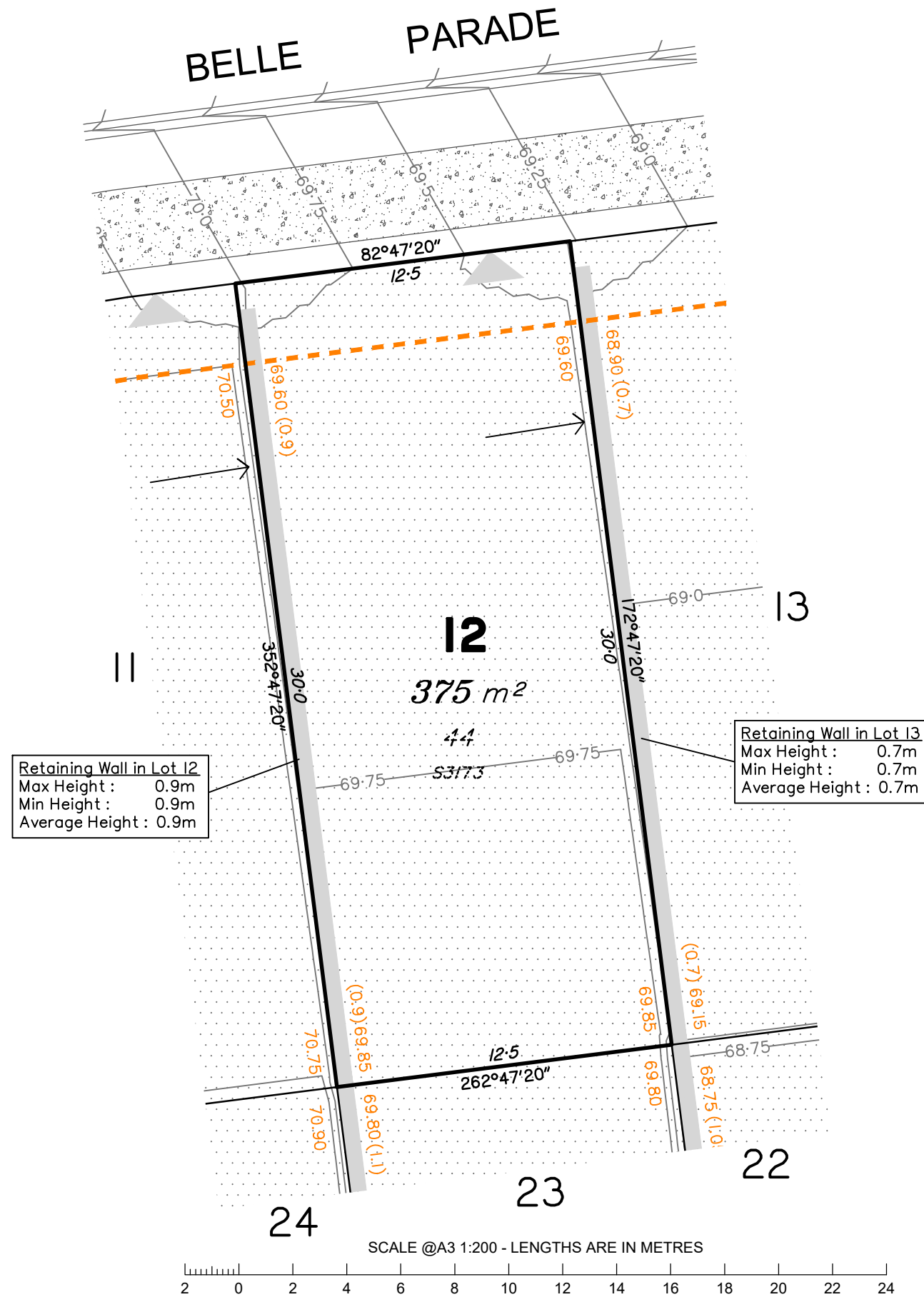
Described as part of Lot 1001 (Restricted) on SP317679
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 16 DP A_11



STAGE 2

LEGEND

- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Proposed Retaining Wall (Height shown in brackets on lower side)
 - XX.XX Finished Design Surface Level
 - Earthworks Pad Extents
 - Built to Boundary Location
 - Future Development Lot Boundary
 - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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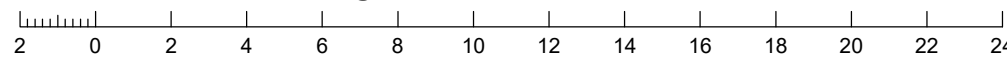
Lot 12 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



No.	by	Date	Chkd	Description
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Disclosure Plan for Proposed Lot 12 (Restricted) on SP330362

Described as part of Lot 1001 (Restricted) on SP317679
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

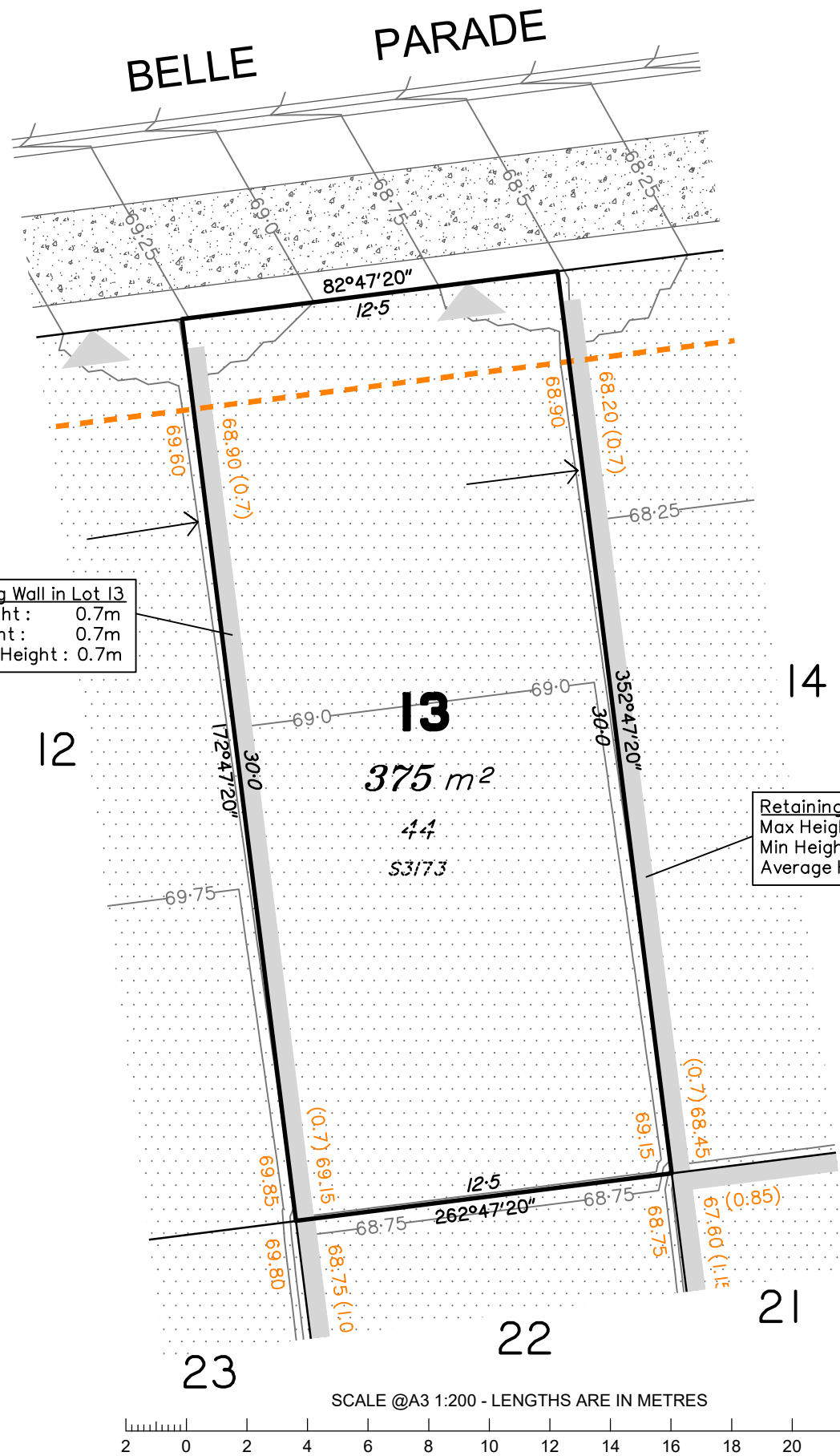
Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 16 DP A_12



STAGE 2



Retaining Wall in Lot 13
 Max Height : 0.7m
 Min Height : 0.7m
 Average Height : 0.7m

Retaining Wall in Lot 14
 Max Height : 0.7m
 Min Height : 0.7m
 Average Height : 0.7m

LEGEND

- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Proposed Retaining Wall (Height shown in brackets on lower side)
 - Finished Design Surface Level
 - Earthworks Pad Extents
 - Built to Boundary Location
 - Future Development Lot Boundary
 - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

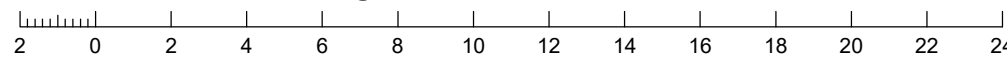
Lot 13 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

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SCALE @A3 1:200 - LENGTHS ARE IN METRES



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Disclosure Plan for Proposed Lot 13 (Restricted) on SP330362

Described as part of Lot 1001 (Restricted) on SP317679
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

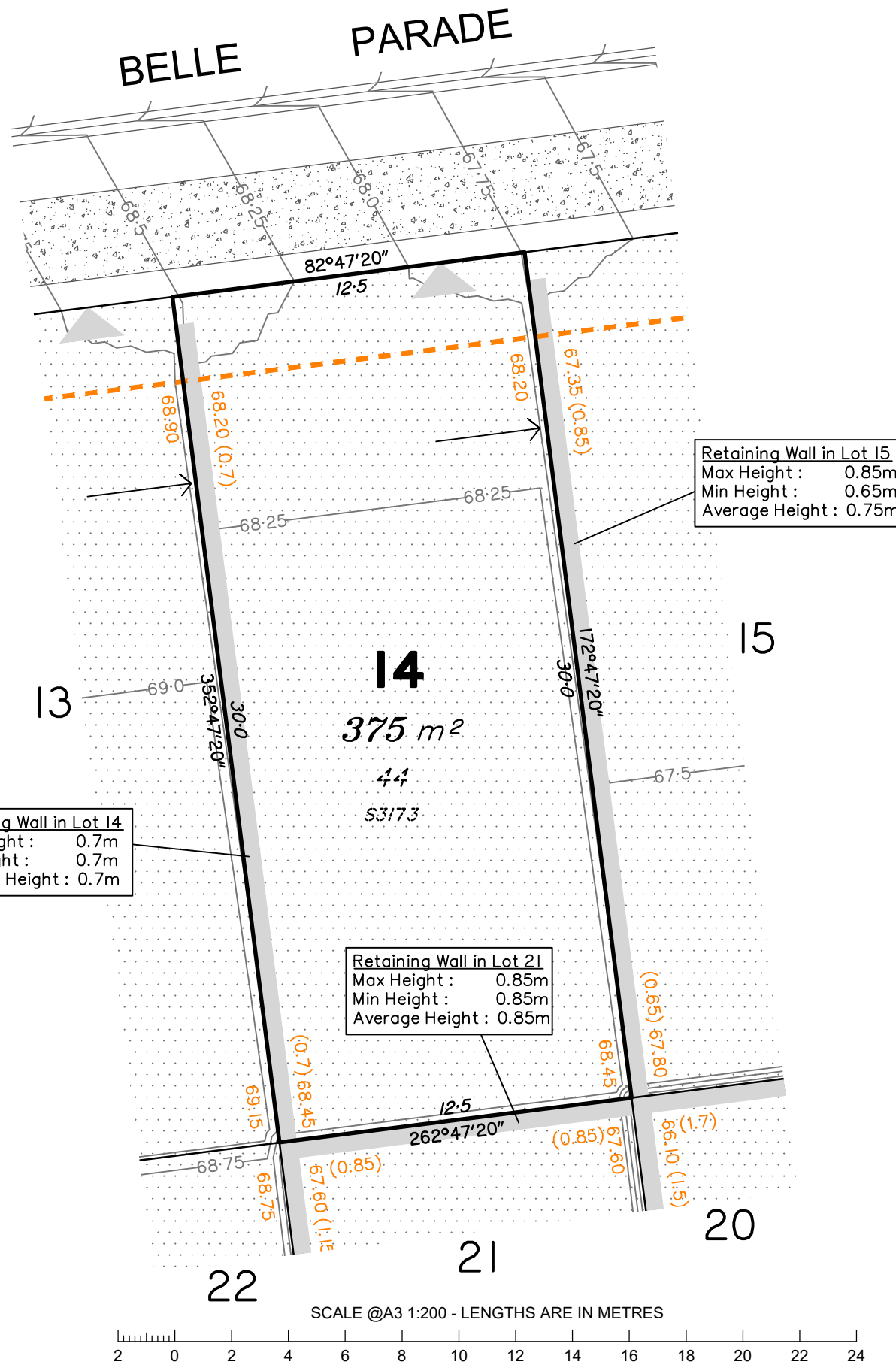
Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 16 DP A_13



STAGE 2



Retaining Wall in Lot 15
 Max Height : 0.85m
 Min Height : 0.65m
 Average Height : 0.75m

Retaining Wall in Lot 14
 Max Height : 0.7m
 Min Height : 0.7m
 Average Height : 0.7m

Retaining Wall in Lot 21
 Max Height : 0.85m
 Min Height : 0.85m
 Average Height : 0.85m

LEGEND

- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Proposed Retaining Wall (Height shown in brackets on lower side)
 - XX.XX Finished Design Surface Level
 - Earthworks Pad Extents
 - Built to Boundary Location
 - Future Development Lot Boundary
 - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 14 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

No.	by	Date	Chkd	Description
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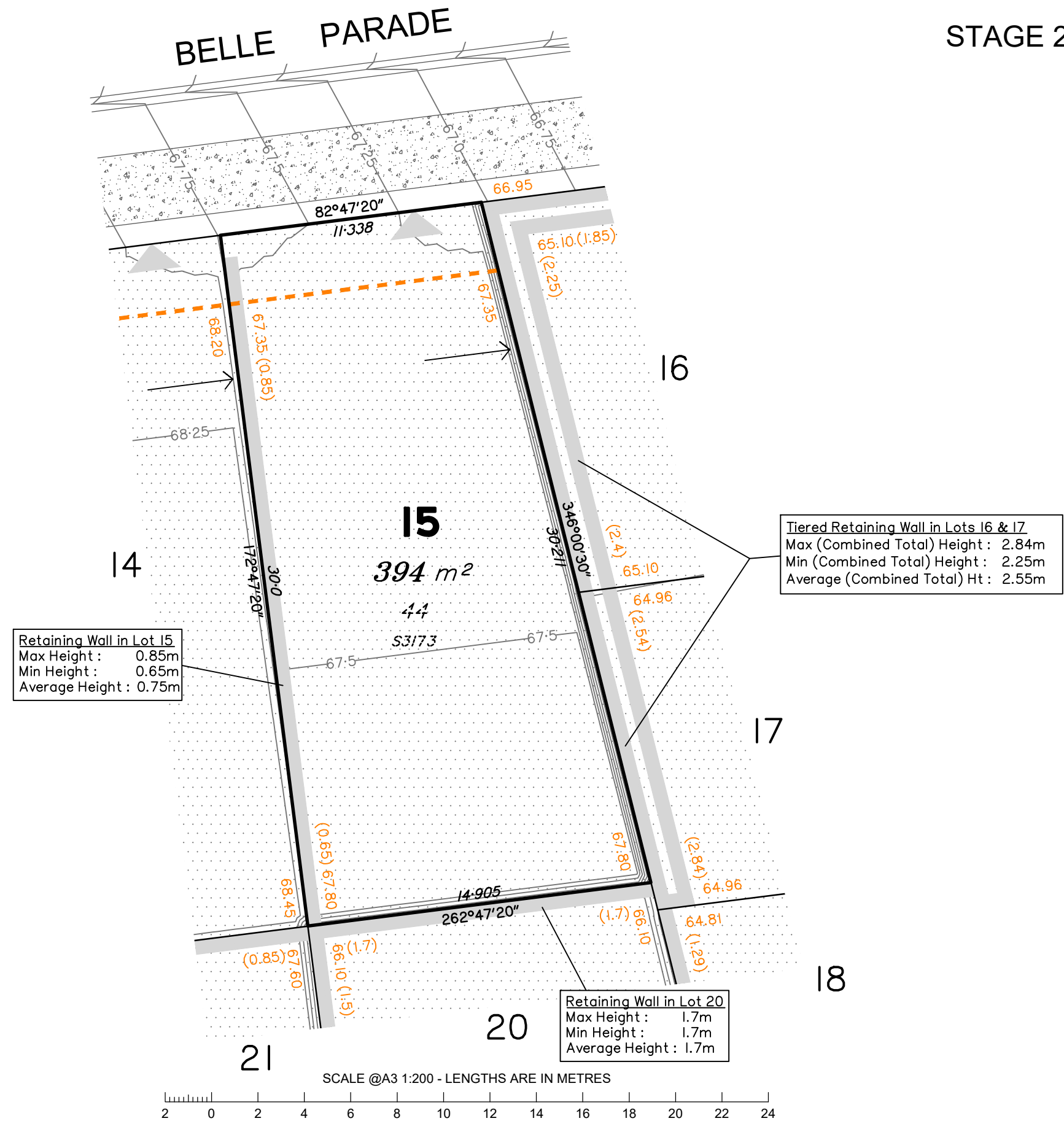
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Disclosure Plan for Proposed Lot 14 (Restricted) on SP330362
 Described as part of Lot 1001 (Restricted) on SP317679
 Existing Title Reference: 51219231
 Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 9780 S 16 DP A_14



STAGE 2



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- - - - Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- XX.XX Finished Design Surface Level
- - - - Earthworks Pad Extents
- ← Built to Boundary Location
- - - - Future Development Lot Boundary
- ▲ Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP330362) and engineering plans provided on the 15/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

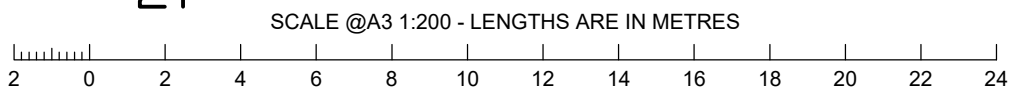
At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 15 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

No.	by	Date	Chkd	Description
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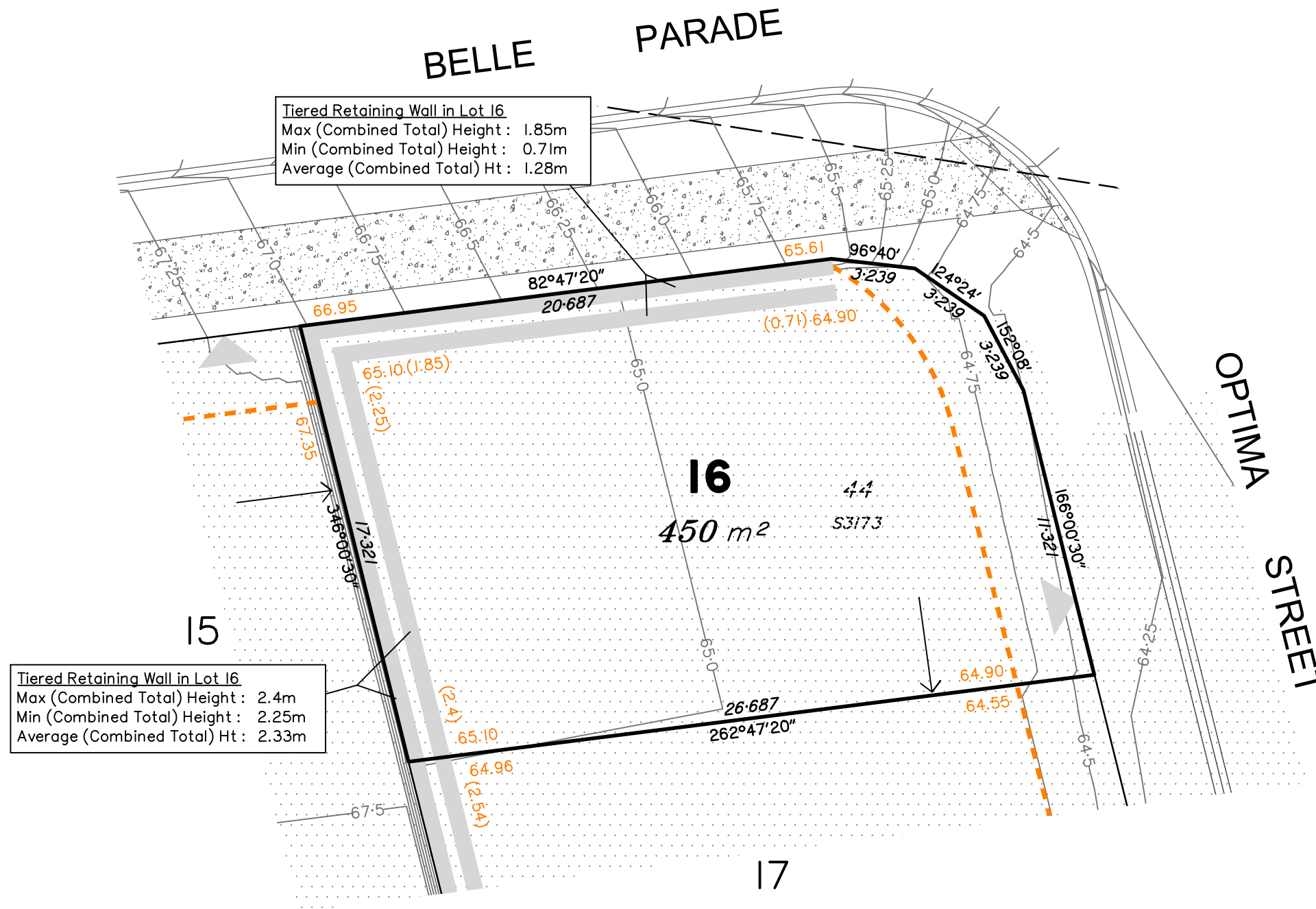
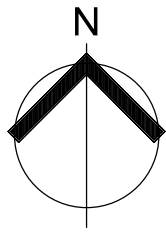
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Disclosure Plan for Proposed Lot 15 (Restricted) on SP330362
 Described as part of Lot 1001 (Restricted) on SP317679
 Existing Title Reference: 51219231
 Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 9780 S 16 DP A_15



STAGE 2



LEGEND

- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Proposed Retaining Wall
(1.5)
(Height shown in brackets on lower side)
 - XX.XX Finished Design Surface Level
 - Earthworks Pad Extents
 - Built to Boundary Location
 - Future Development Lot Boundary
 - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

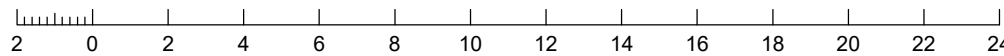
Lot 16 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



No.	by	Date	Chkd	Description
A	TBG	02/08/21	WJH	Original Issue



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 Brisbane Springfield Rockhampton
 head office 9 Thompson St Bowen Hills Q 4006
 phone 1300 123 SHG web www.saundershavill.com

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Disclosure Plan for Proposed Lot 16 (Restricted) on SP330362

Described as part of Lot 1001 (Restricted) on SP317679
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

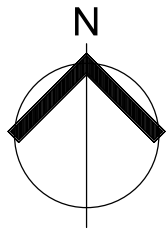
Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

Scale @A3 1: 200

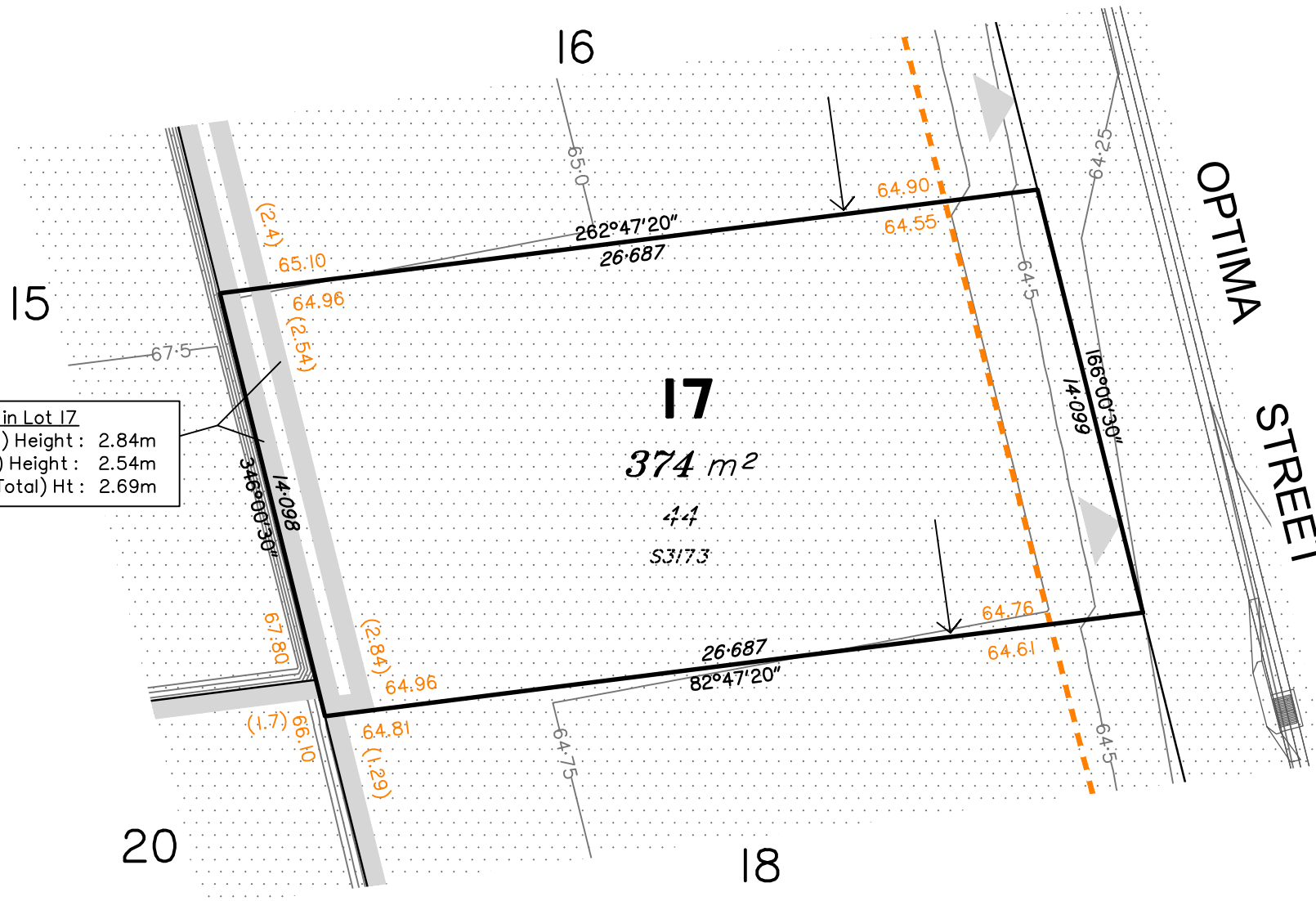
Dwg No. 9780 S 16 DP A_16



STAGE 2



Tiered Retaining Wall in Lot 17
 Max (Combined Total) Height : 2.84m
 Min (Combined Total) Height : 2.54m
 Average (Combined Total) Ht : 2.69m



LEGEND

- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Proposed Retaining Wall (Height shown in brackets on lower side)
 - XX.XX Finished Design Surface Level
 - Earthworks Pad Extents
 - Built to Boundary Location
 - Future Development Lot Boundary
 - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP330362) and engineering plans provided on the 15/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

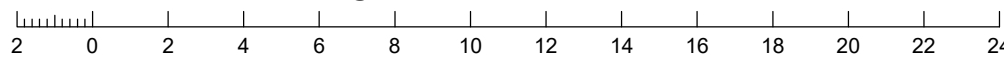
Lot 17 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



No.	by	Date	Chkd	Description
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Disclosure Plan for Proposed Lot 17 (Restricted) on SP330362

Described as part of Lot 1001 (Restricted) on SP317679
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

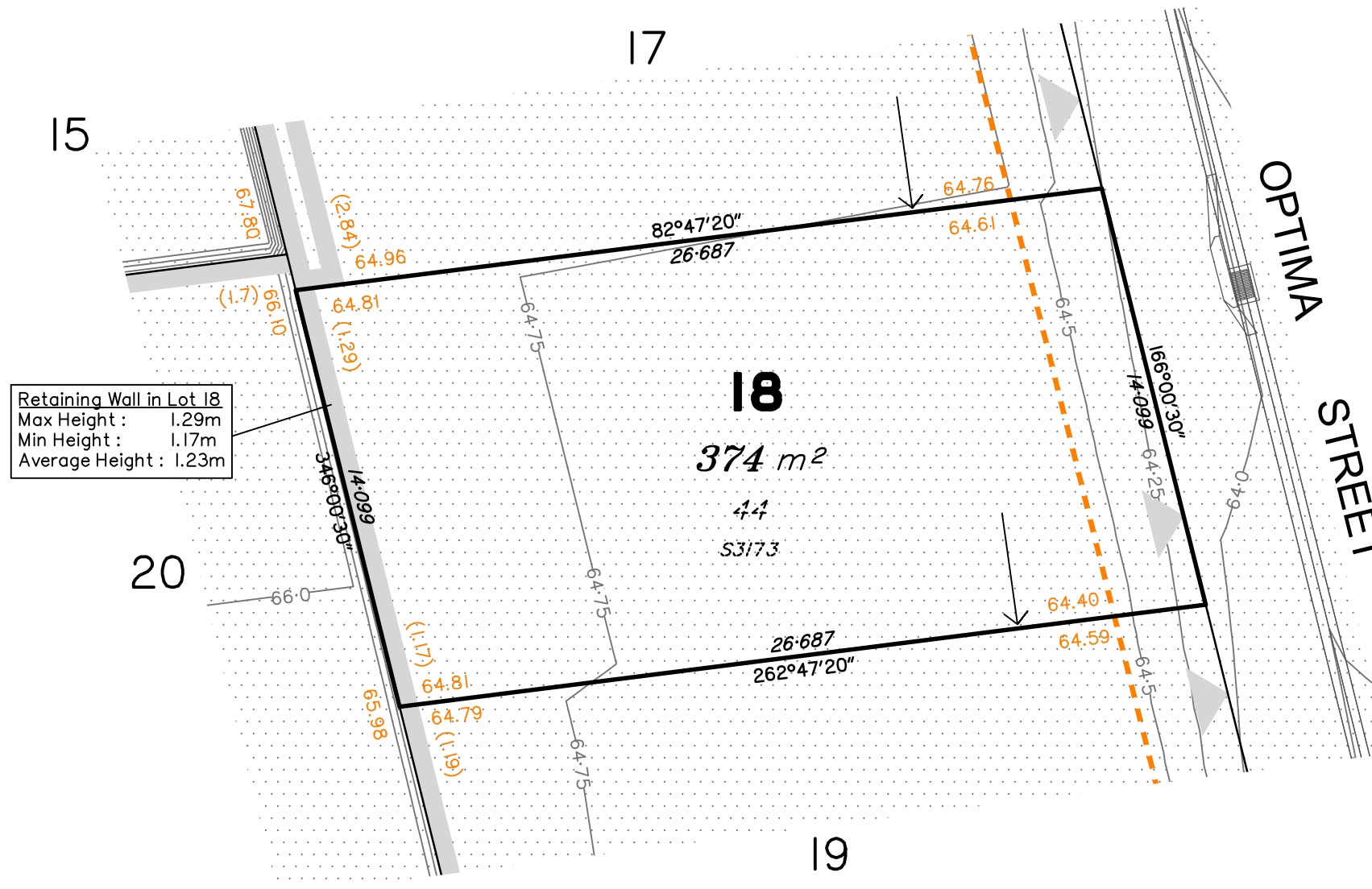
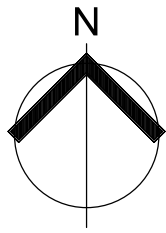
Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 16 DP A_17



STAGE 2



Retaining Wall in Lot 18
 Max Height : 1.29m
 Min Height : 1.17m
 Average Height : 1.23m

LEGEND

- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Proposed Retaining Wall (Height shown in brackets on lower side)
 - XX.XX Finished Design Surface Level
 - Earthworks Pad Extents
 - Built to Boundary Location
 - Future Development Lot Boundary
 - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

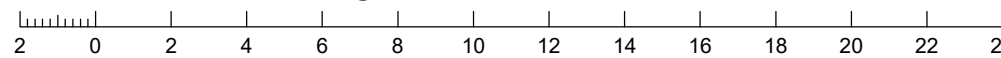
Lot 18 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



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Disclosure Plan for Proposed Lot 18 (Restricted) on SP330362

Described as part of Lot 1001 (Restricted) on SP317679
 Existing Title Reference: 51219231

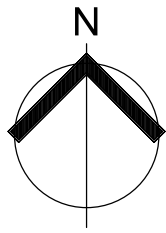
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

Scale @A3 1: 200
 Dwg No. 9780 S 16 DP A_18



STAGE 2



Retaining Wall in Lot 19
 Max Height : 1.19m
 Min Height : 1.06m
 Average Height : 1.13m

LEGEND

- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Proposed Retaining Wall
(1.5)
(Height shown in brackets on lower side)
 - Finished Design Surface Level
 - Earthworks Pad Extents
 - Built to Boundary Location
 - Future Development Lot Boundary
 - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP330362) and engineering plans provided on the 15/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

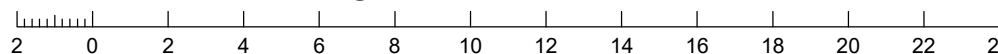
Lot 19 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



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Disclosure Plan for Proposed Lot 19 (Restricted) on SP330362

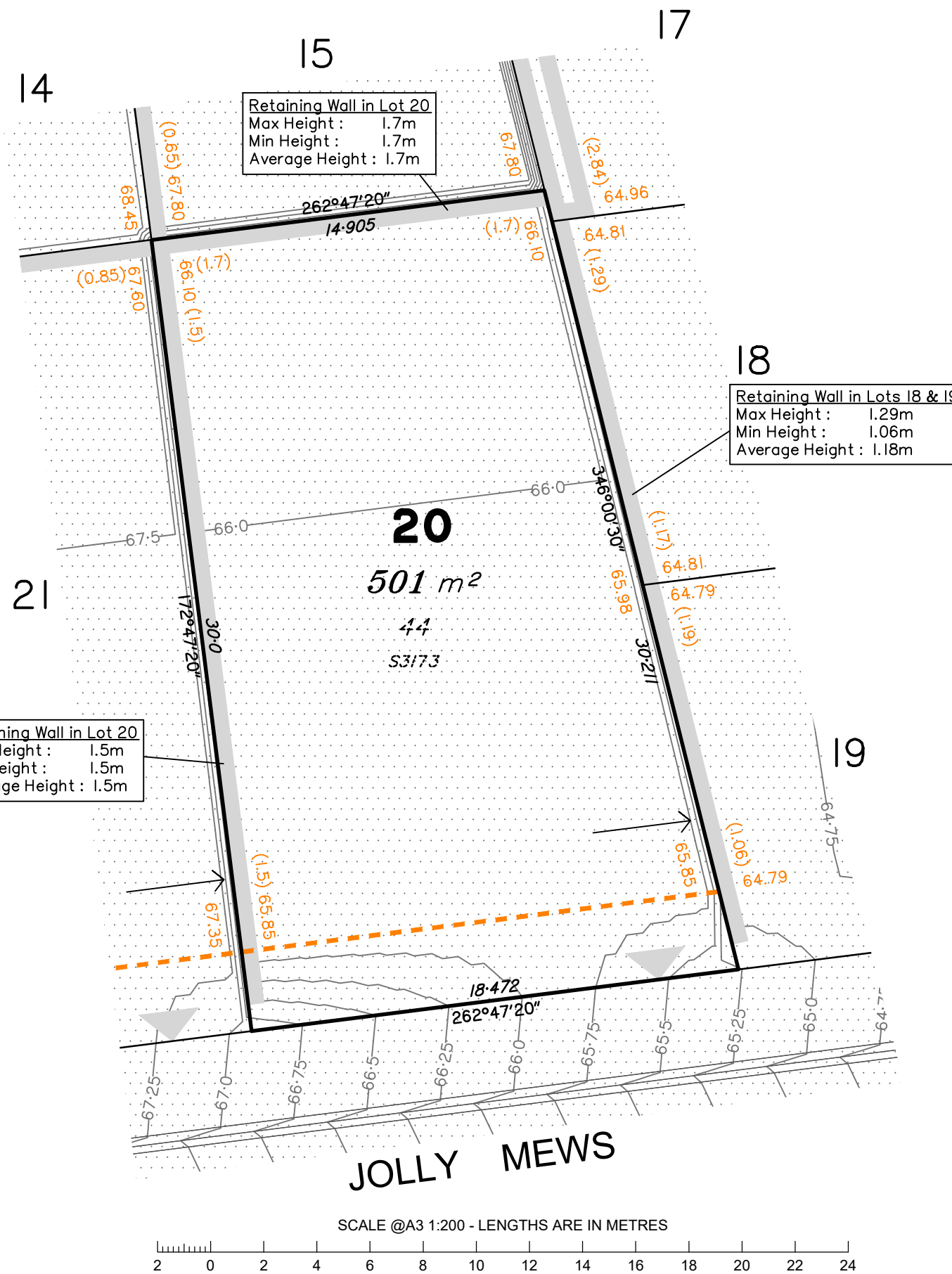
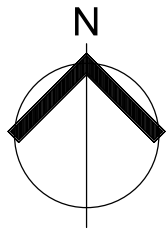
Described as part of Lot 1001 (Restricted) on SP317679
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 16 DP A_19



STAGE 2

LEGEND

- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Proposed Retaining Wall
(Height shown in brackets on lower side)
 - Finished Design Surface Level
 - Earthworks Pad Extents
 - Built to Boundary Location
 - Future Development Lot Boundary
 - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 20 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

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Disclosure Plan for Proposed Lot 20 (Restricted) on SP330362

Described as part of Lot 1001 (Restricted) on SP317679
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

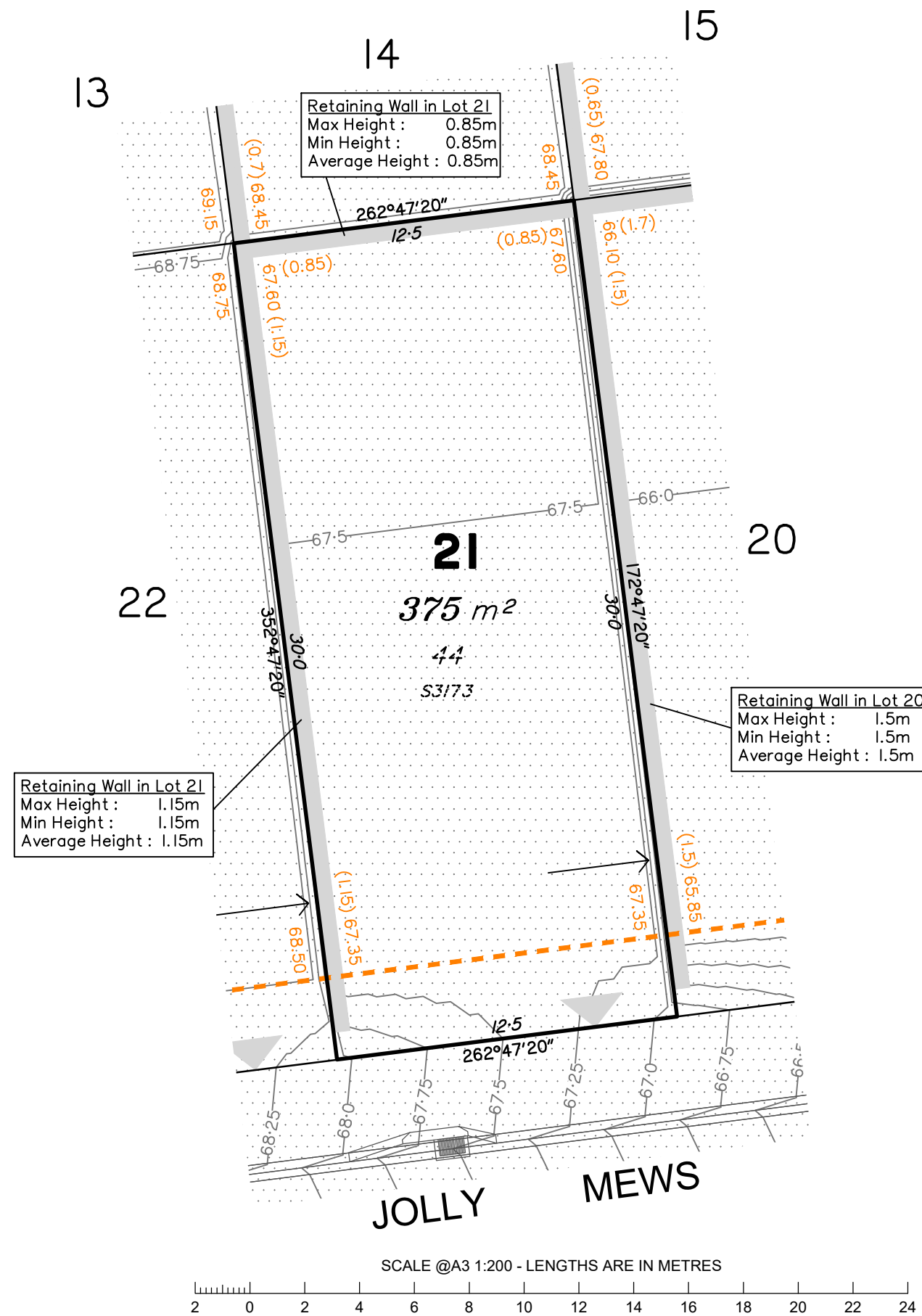
Scale @A3 1: 200

Dwg No. 9780 S 16 DP A_20

No.	by	Date	Chkd	Description
A	TBG	02/08/21	WJH	Original Issue



STAGE 2



LEGEND

- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Proposed Retaining Wall (Height shown in brackets on lower side)
 - Finished Design Surface Level
 - Earthworks Pad Extents
 - Built to Boundary Location
 - Future Development Lot Boundary
 - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 21 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

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Disclosure Plan for Proposed Lot 21 (Restricted) on SP330362

Described as part of Lot 1001 (Restricted) on SP317679
 Existing Title Reference: 51219231

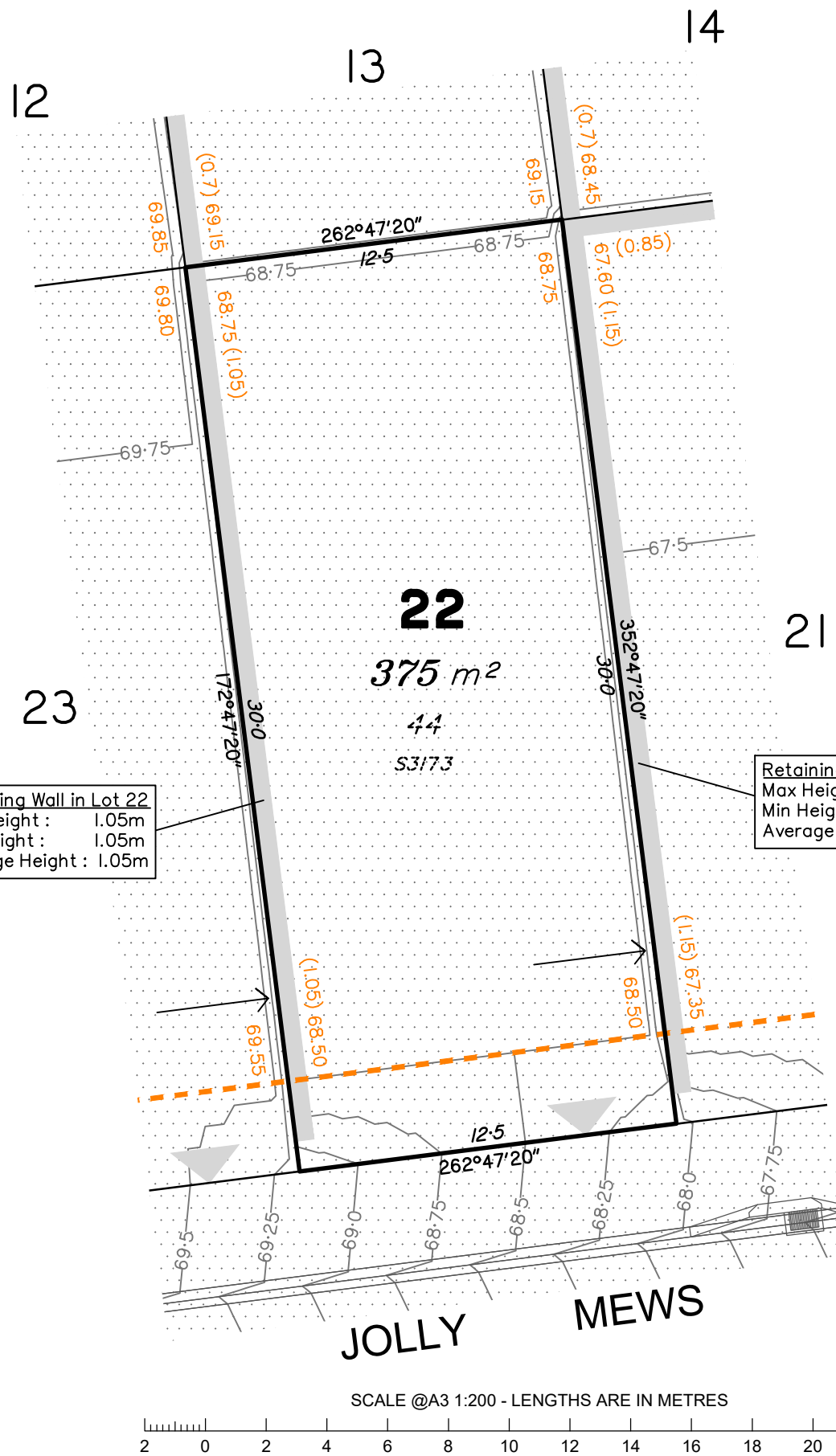
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 16 DP A_21

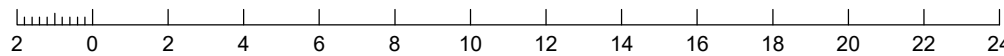
No.	by	Date	Chkd	Description
A	TBG	02/08/21	WJH	Original Issue



Retaining Wall in Lot 22
 Max Height : 1.05m
 Min Height : 1.05m
 Average Height : 1.05m

Retaining Wall in Lot 21
 Max Height : 1.15m
 Min Height : 1.15m
 Average Height : 1.15m

SCALE @A3 1:200 - LENGTHS ARE IN METRES



STAGE 2

LEGEND

- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Proposed Retaining Wall
(Height shown in brackets on lower side)
 - Finished Design Surface Level
 - Earthworks Pad Extents
 - Built to Boundary Location
 - Future Development Lot Boundary
 - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 22 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

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Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.



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Disclosure Plan for Proposed Lot 22 (Restricted) on SP330362

Described as part of Lot 1001 (Restricted) on SP317679
 Existing Title Reference: 51219231

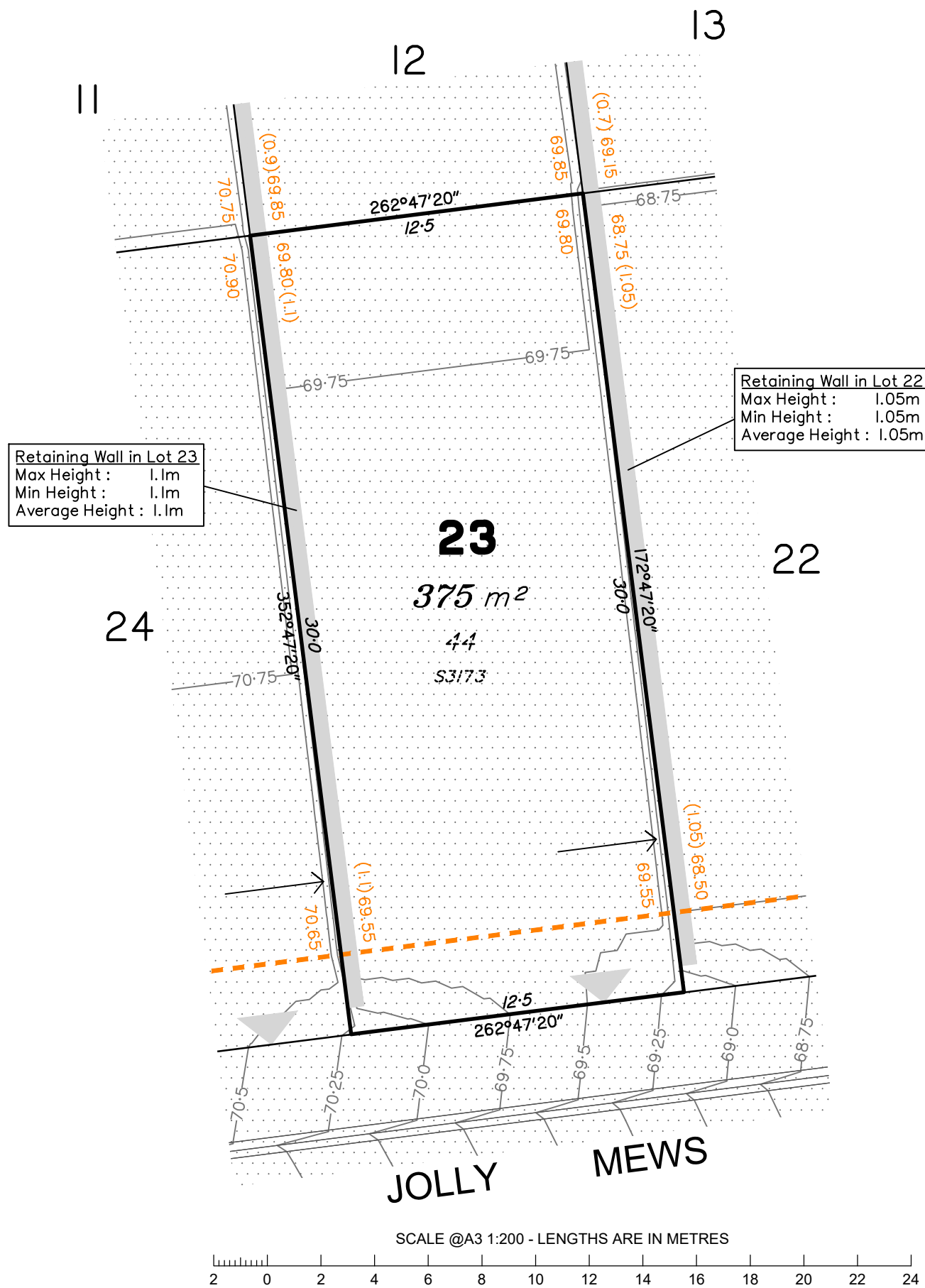
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 16 DP A_22

No.	by	Date	Chkd	Description
A	TBG	02/08/21	WJH	Original Issue



STAGE 2

LEGEND

- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Proposed Retaining Wall (Height shown in brackets on lower side)
 - XX.XX Finished Design Surface Level
 - Earthworks Pad Extents
 - Built to Boundary Location
 - Future Development Lot Boundary
 - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 23 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

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Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.



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Disclosure Plan for Proposed Lot 23 (Restricted) on SP330362

Described as part of Lot 1001 (Restricted) on SP317679
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

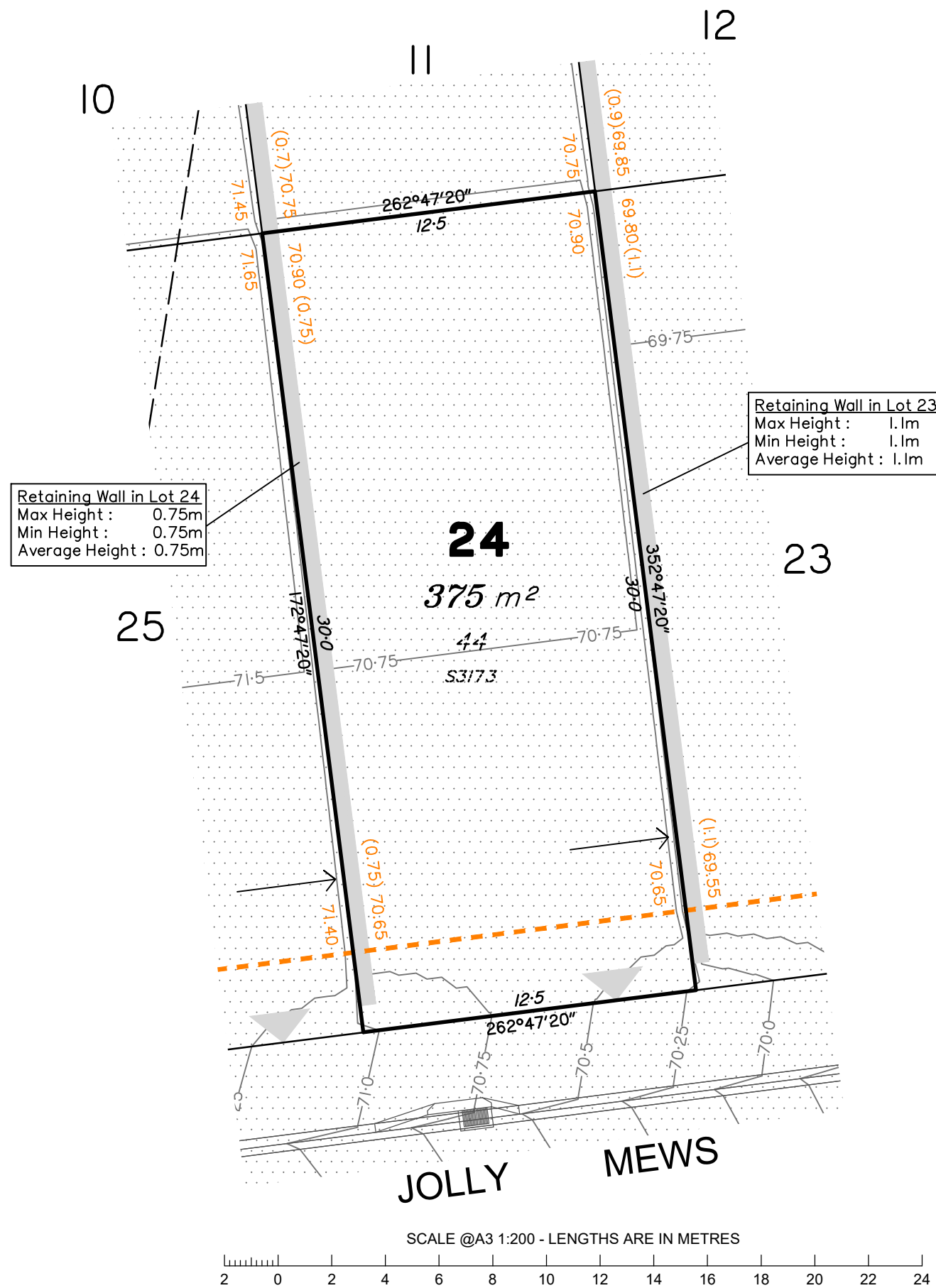
Scale @A3 1: 200

Dwg No. 9780 S 16 DP A_23

No.	by	Date	Chkd	Description
A	TBG	02/08/21	WJH	Original Issue



STAGE 2



LEGEND

- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Proposed Retaining Wall (Height shown in brackets on lower side)
 - XX.XX Finished Design Surface Level
 - Earthworks Pad Extents
 - Built to Boundary Location
 - Future Development Lot Boundary
 - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP330362) and engineering plans provided on the 15/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

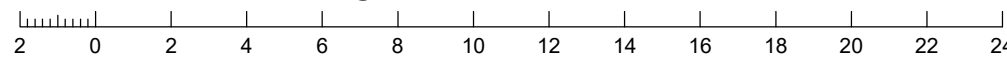
Lot 24 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



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Disclosure Plan for Proposed Lot 24 (Restricted) on SP330362

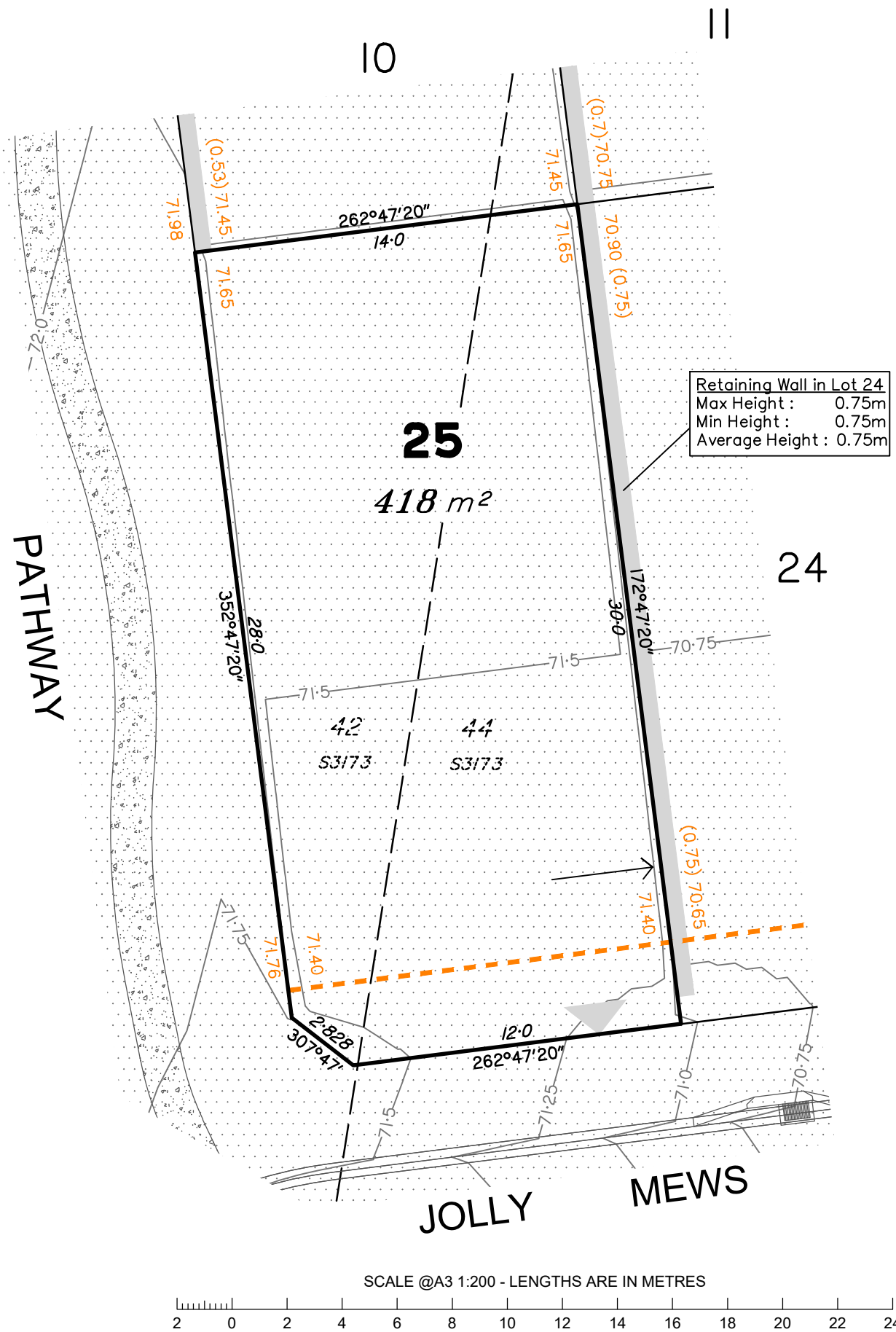
Described as part of Lot 1001 (Restricted) on SP317679
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 9780 S 16 DP A_24



STAGE 2



LEGEND

- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Proposed Retaining Wall (Height shown in brackets on lower side)
 - XX.XX Finished Design Surface Level
 - Earthworks Pad Extents
 - Built to Boundary Location
 - Future Development Lot Boundary
 - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

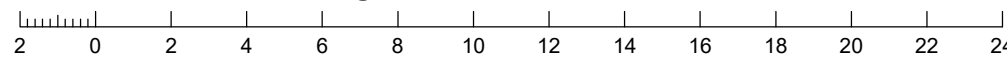
Lot 25 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



No.	by	Date	Chkd	Description
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Disclosure Plan for Proposed Lot 25 (Restricted) on SP330362

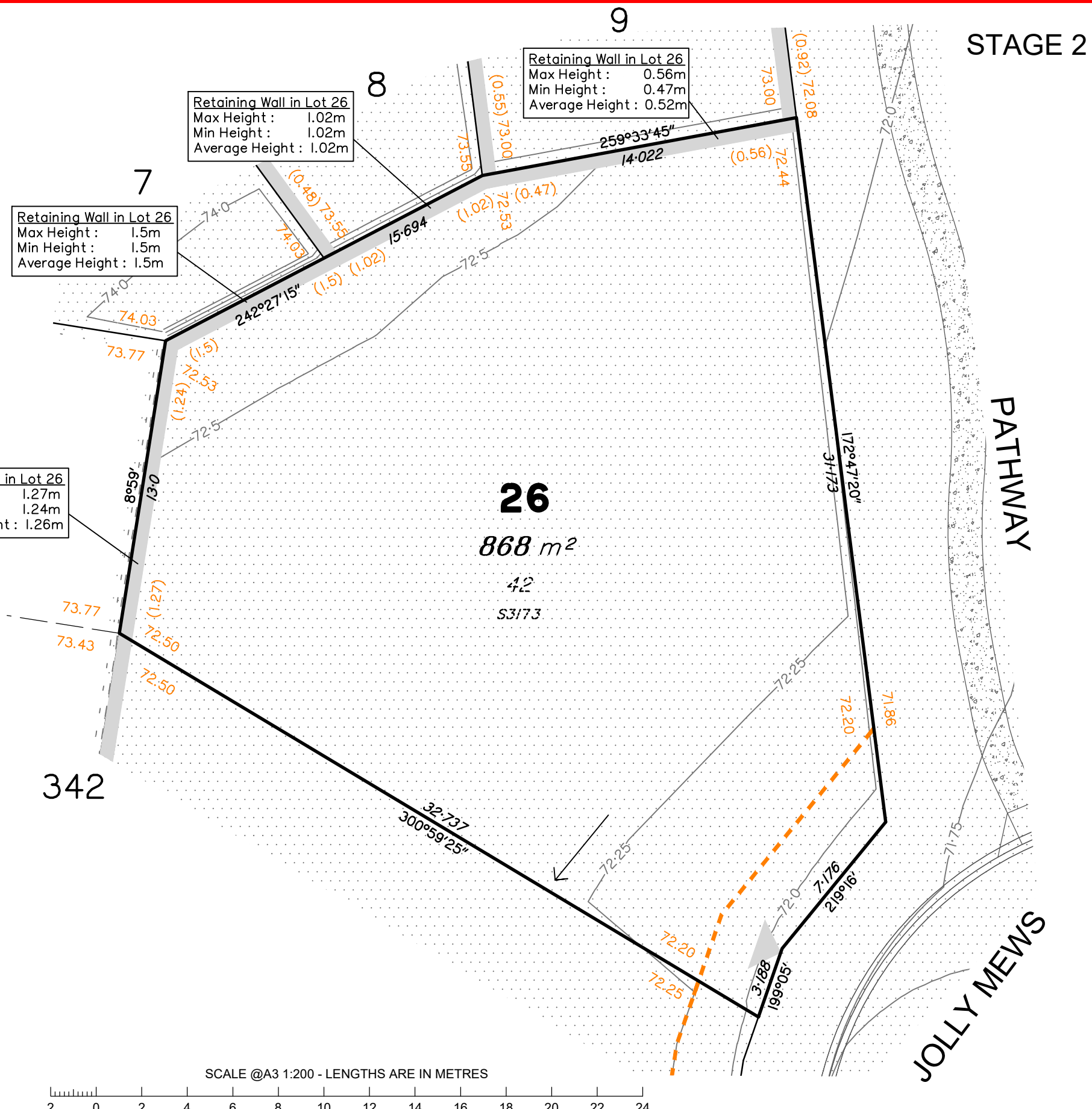
Described as part of Lot 1001 (Restricted) on SP317679
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 16 DP A_25



STAGE 2

LEGEND

- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Proposed Retaining Wall (Height shown in brackets on lower side)
 - (1.5) Finished Design Surface Level
 - Earthworks Pad Extents
 - Built to Boundary Location
 - Future Development Lot Boundary
 - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 26 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

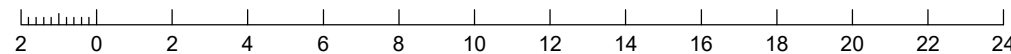
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

No.	by	Date	Chkd	Description
A	TBG	02/08/21	WJH	Original Issue



SCALE @A3 1:200 - LENGTHS ARE IN METRES



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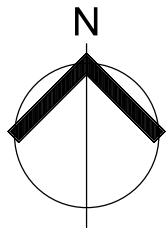
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Disclosure Plan for Proposed Lot 26 (Restricted) on SP330362

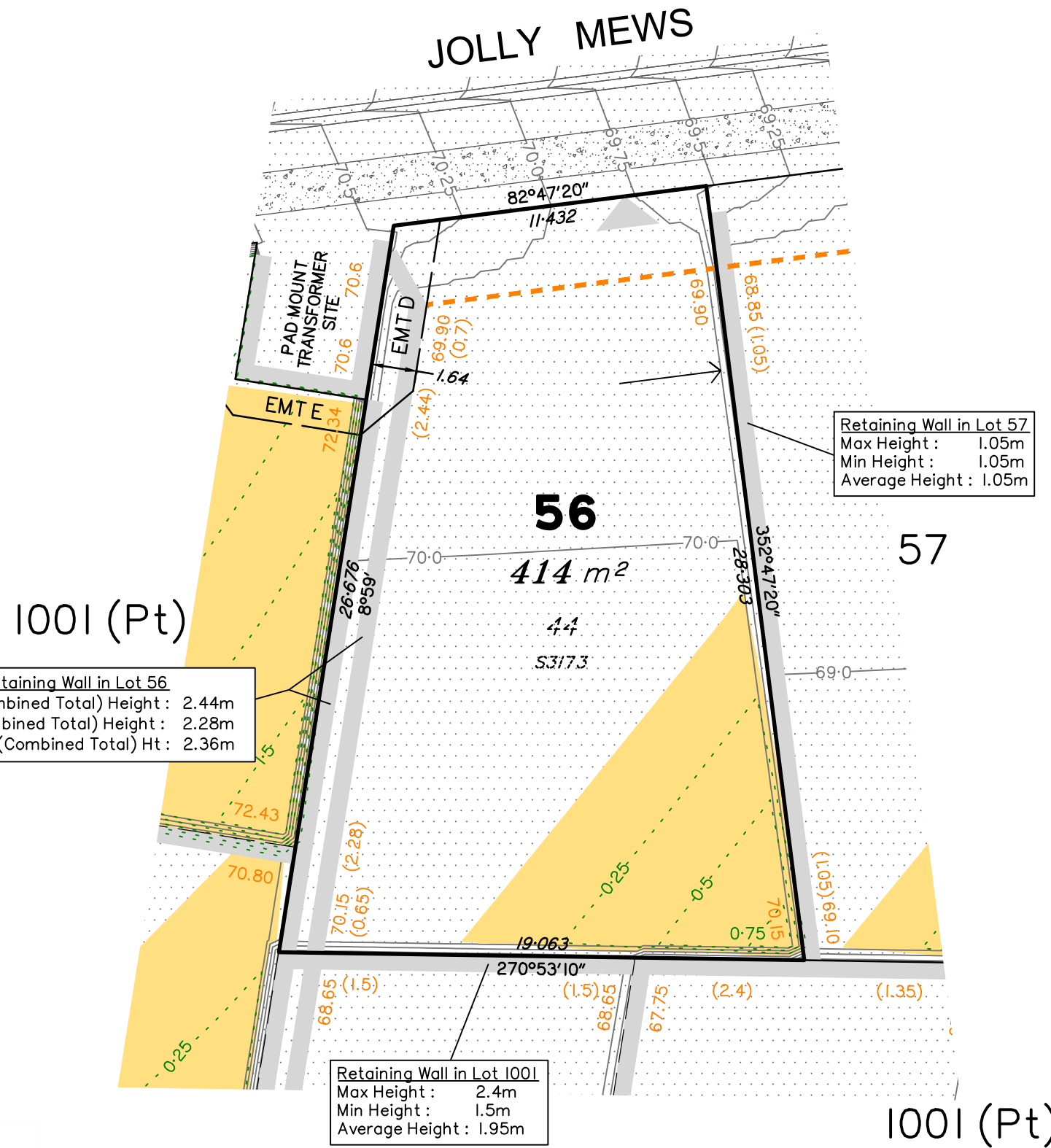
Described as part of Lot 1001 (Restricted) on SP317679
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 9780 S 16 DP A_26



STAGE 2



LEGEND

- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Proposed Retaining Wall (Height shown in brackets on lower side)
 - XX.XX Finished Design Surface Level
 - Earthworks Pad Extents
 - Built to Boundary Location
 - Future Development Lot Boundary
 - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP330362) and engineering plans provided on the 15/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 56 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

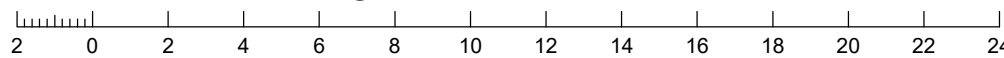
Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

Lot 56 contains Easement D on SP330362 benefiting Energex.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



No.	by	Date	Chkd	Description
A	TBG	02/08/21	WJH	Original Issue



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Disclosure Plan for Proposed Lot 56 (Restricted) on SP330362

Described as part of Lot 1001 (Restricted) on SP317679
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

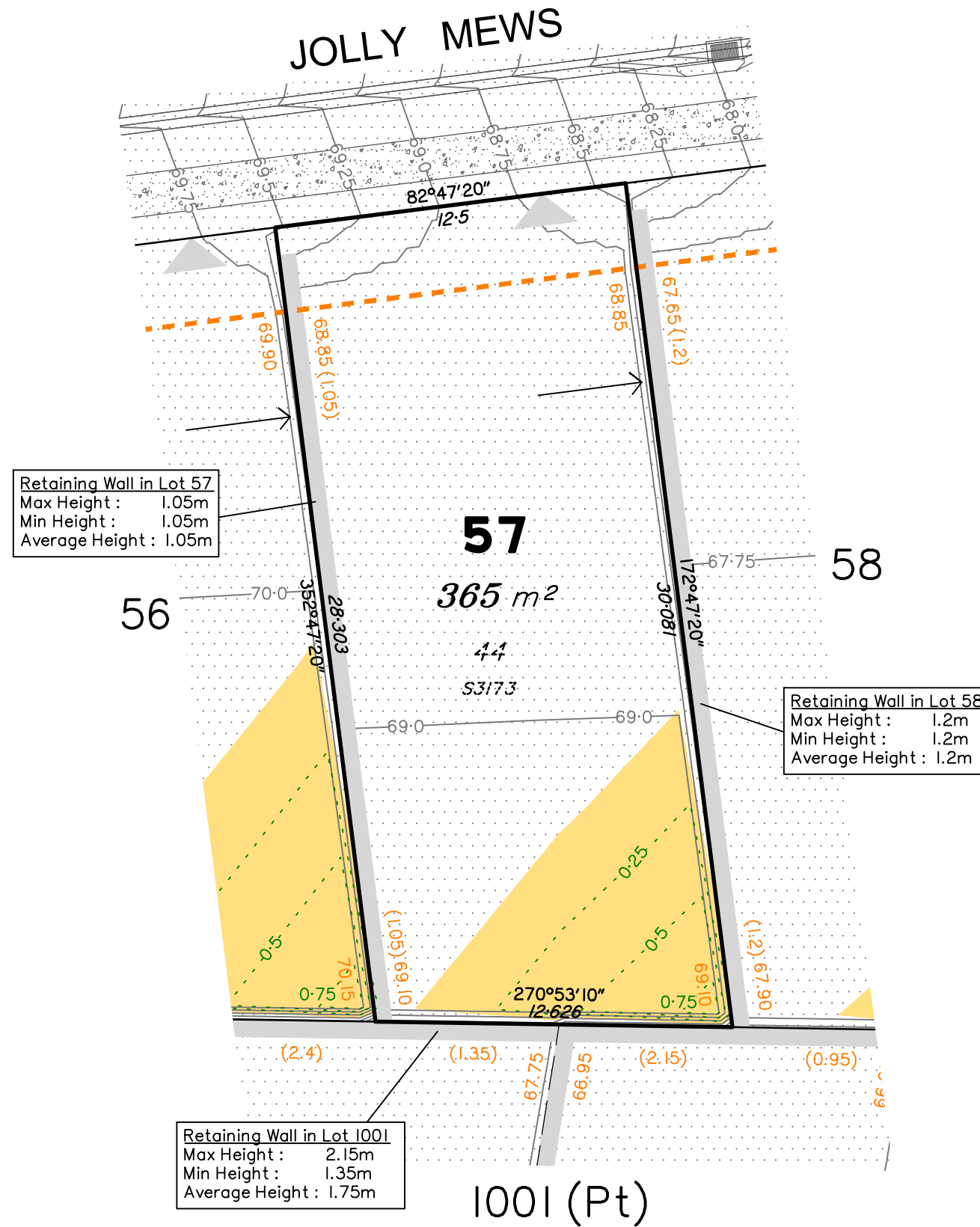
Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

Scale @A3 1: 200

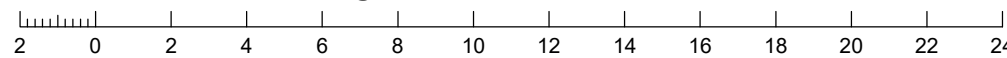
Dwg No. 9780 S 16 DP A_56



STAGE 2



SCALE @A3 1:200 - LENGTHS ARE IN METRES



LEGEND

- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Proposed Retaining Wall (Height shown in brackets on lower side)
 - XX.XX Finished Design Surface Level
 - Earthworks Pad Extents
 - Built to Boundary Location
 - Future Development Lot Boundary
 - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP330362) and engineering plans provided on the 15/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 57 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.

No.	by	Date	Chkd	Description
A	TBG	02/08/21	WJH	Original Issue



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Disclosure Plan for Proposed Lot 57 (Restricted) on SP330362

Described as part of Lot 1001 (Restricted) on SP317679
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

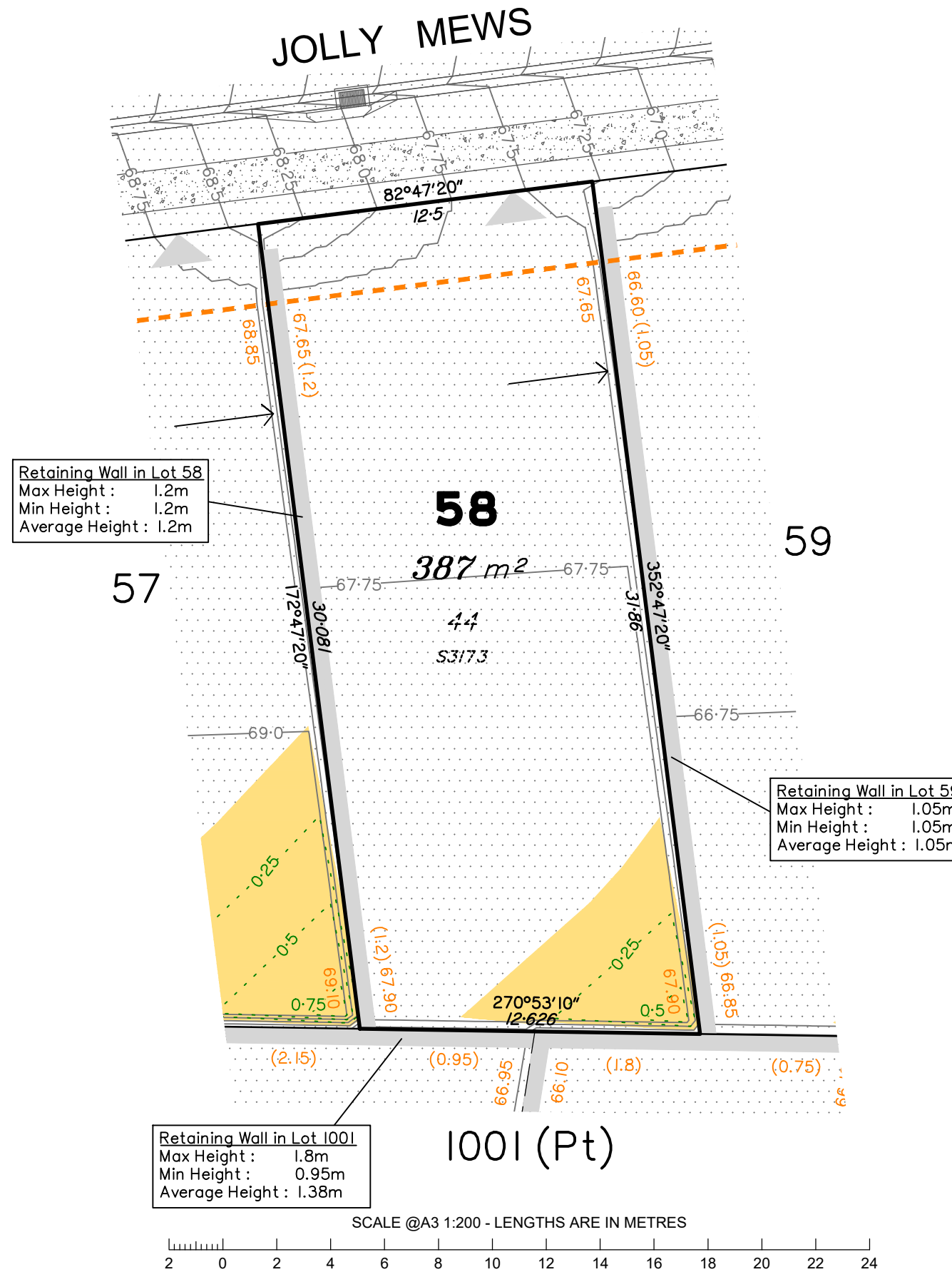
Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 16 DP A_57



STAGE 2

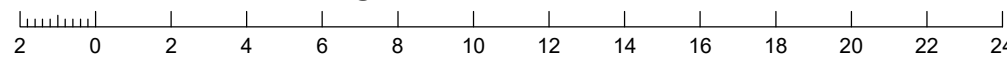


Retaining Wall in Lot 58
 Max Height : 1.2m
 Min Height : 1.2m
 Average Height : 1.2m

Retaining Wall in Lot 59
 Max Height : 1.05m
 Min Height : 1.05m
 Average Height : 1.05m

Retaining Wall in Lot 1001
 Max Height : 1.8m
 Min Height : 0.95m
 Average Height : 1.38m

SCALE @A3 1:200 - LENGTHS ARE IN METRES



LEGEND

- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Proposed Retaining Wall (Height shown in brackets on lower side)
 - Finished Design Surface Level
 - Earthworks Pad Extents
 - Built to Boundary Location
 - Future Development Lot Boundary
 - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 58 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

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No.	by	Date	Chkd	Description
A	TBG	02/08/21	WJH	Original Issue



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Disclosure Plan for Proposed Lot 58 (Restricted) on SP330362

Described as part of Lot 1001 (Restricted) on SP317679
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

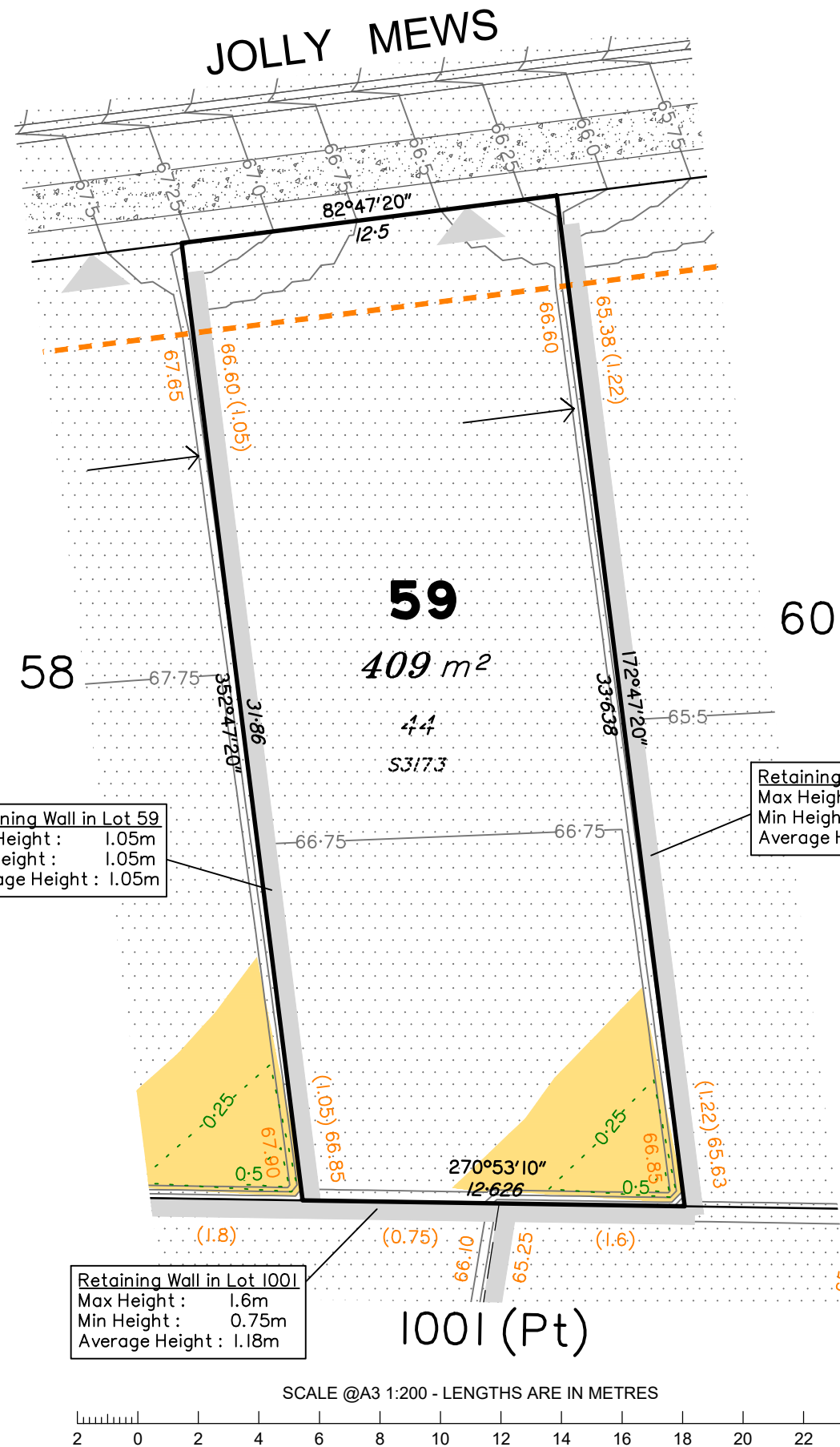
Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 16 DP A_58



STAGE 2

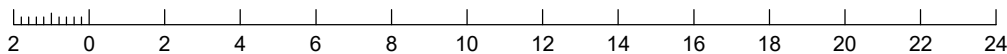


Retaining Wall in Lot 59
 Max Height : 1.05m
 Min Height : 1.05m
 Average Height : 1.05m

Retaining Wall in Lot 60
 Max Height : 1.22m
 Min Height : 1.22m
 Average Height : 1.22m

Retaining Wall in Lot 1001
 Max Height : 1.6m
 Min Height : 0.75m
 Average Height : 1.18m

SCALE @A3 1:200 - LENGTHS ARE IN METRES



LEGEND

- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Proposed Retaining Wall (Height shown in brackets on lower side)
 - XX.XX Finished Design Surface Level
 - Earthworks Pad Extents
 - Built to Boundary Location
 - Future Development Lot Boundary
 - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP330362) and engineering plans provided on the 15/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 59 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

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No.	by	Date	Chkd	Description
A	TBG	02/08/21	WJH	Original Issue



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Disclosure Plan for Proposed Lot 59 (Restricted) on SP330362

Described as part of Lot 1001 (Restricted) on SP317679
 Existing Title Reference: 51219231

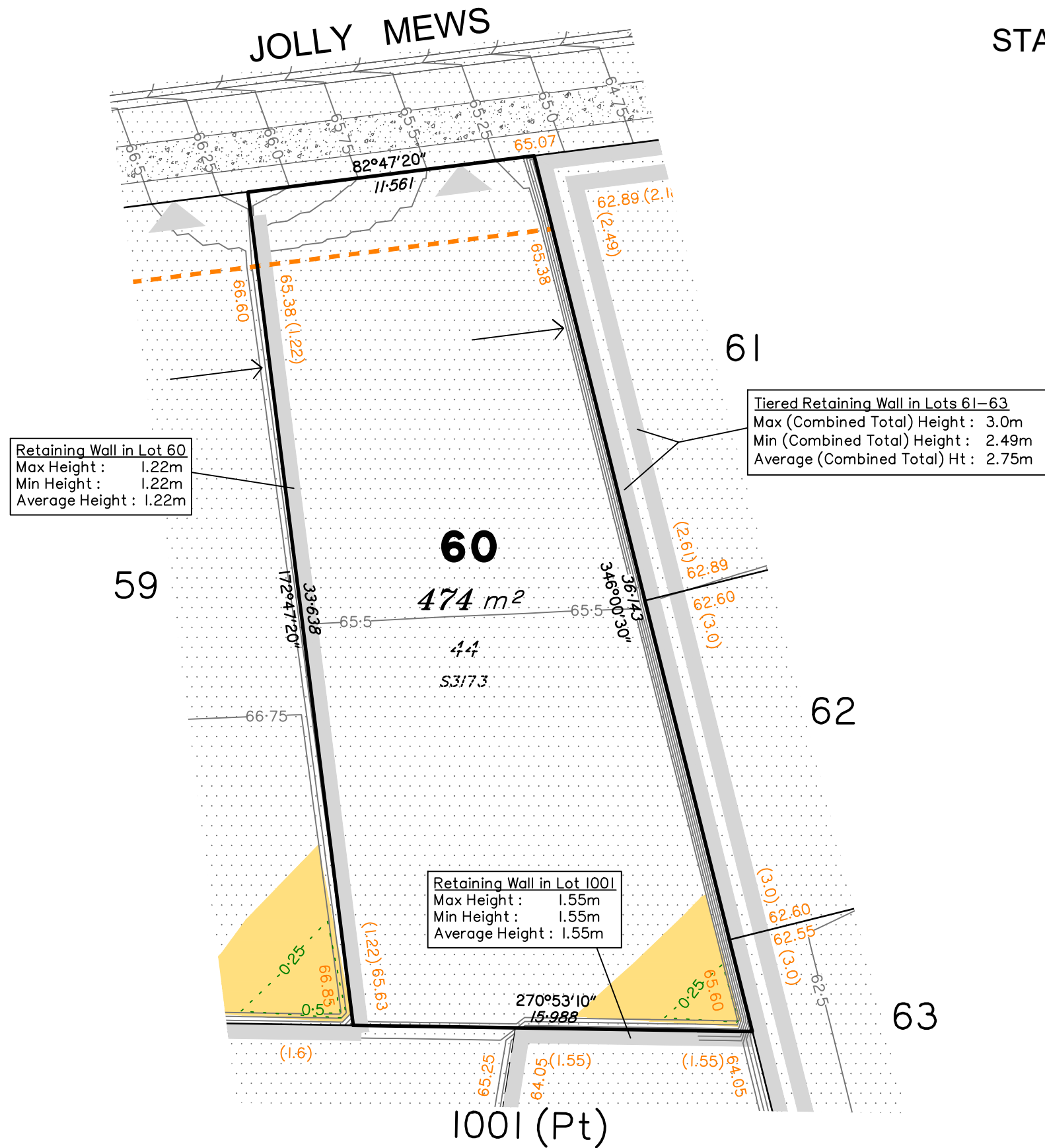
Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

Scale @A3 1: 200
 Dwg No. 9780 S 16 DP A_59



STAGE 2



LEGEND

- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Proposed Retaining Wall (Height shown in brackets on lower side)
 - Finished Design Surface Level
 - Earthworks Pad Extents
 - Built to Boundary Location
 - Future Development Lot Boundary
 - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP330362) and engineering plans provided on the 15/07/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 60 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

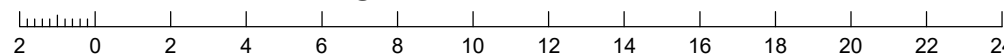
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

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SCALE @A3 1:200 - LENGTHS ARE IN METRES



No.	by	Date	Chkd	Description
A	TBG	02/08/21	WJH	Original Issue



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Disclosure Plan for Proposed Lot 60 (Restricted) on SP330362

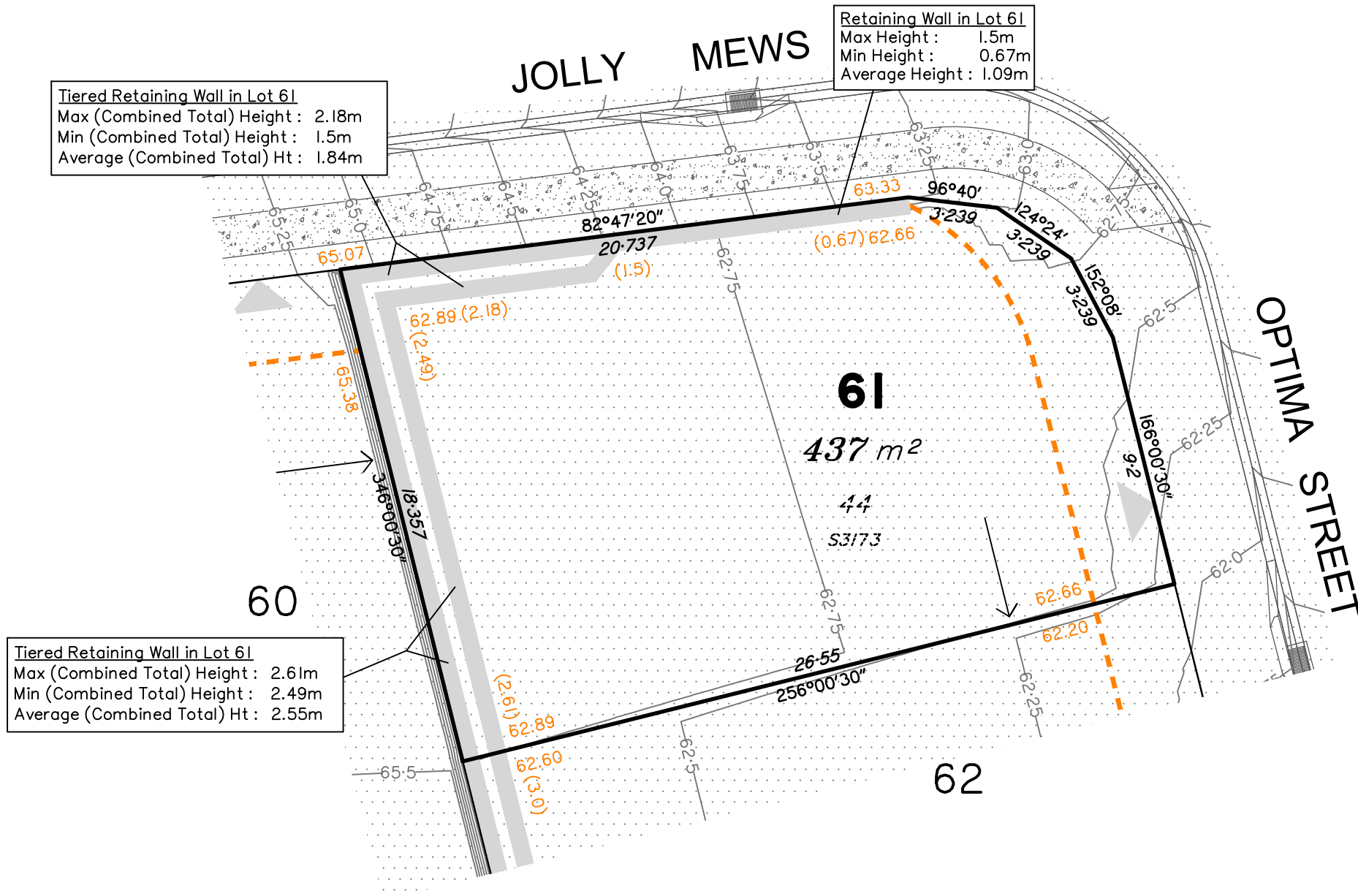
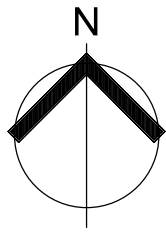
Described as part of Lot 1001 (Restricted) on SP317679
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 9780 S 16 DP A_60



STAGE 2



Tiered Retaining Wall in Lot 61
 Max (Combined Total) Height : 2.18m
 Min (Combined Total) Height : 1.5m
 Average (Combined Total) Ht : 1.84m

Retaining Wall in Lot 61
 Max Height : 1.5m
 Min Height : 0.67m
 Average Height : 1.09m

Tiered Retaining Wall in Lot 61
 Max (Combined Total) Height : 2.61m
 Min (Combined Total) Height : 2.49m
 Average (Combined Total) Ht : 2.55m

LEGEND

- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Proposed Retaining Wall (Height shown in brackets on lower side)
 - XX.XX Finished Design Surface Level
 - Earthworks Pad Extents
 - Built to Boundary Location
 - Future Development Lot Boundary
 - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

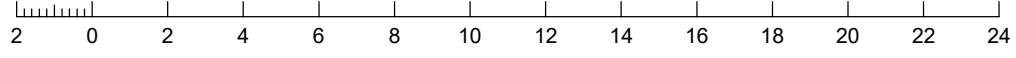
Lot 61 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



No.	by	Date	Chkd	Description
A	TBG	02/08/21	WJH	Original Issue
B	TBG	16/08/21	TBG	Adjoining Lot levels updated. Wall removed

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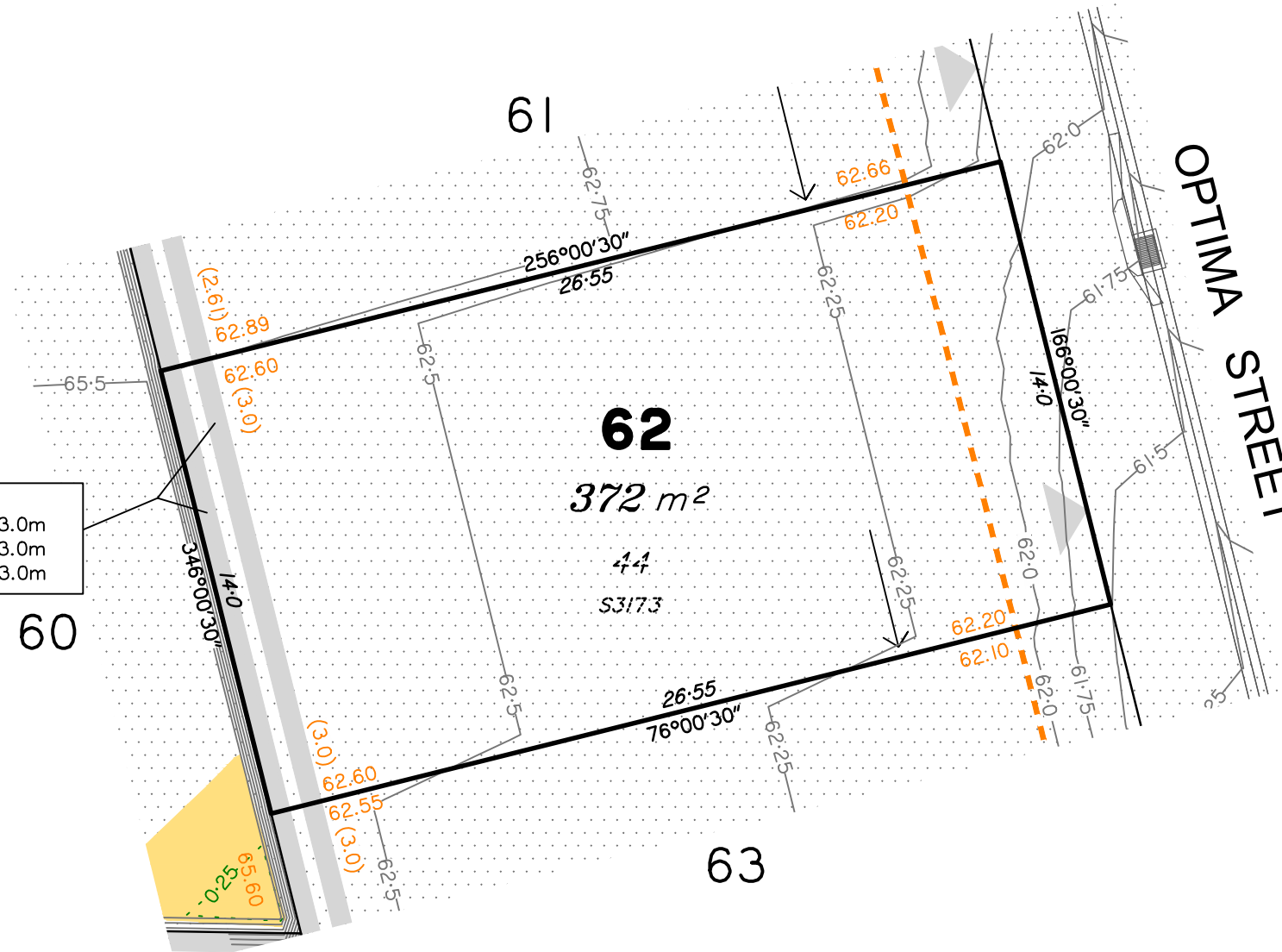
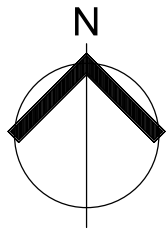
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Disclosure Plan for Proposed Lot 61 (Restricted) on SP330362
 Described as part of Lot 1001 (Restricted) on SP317679
 Existing Title Reference: 51219231
 Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 9780 S 16 DP B_61



STAGE 2



Tiered Retaining Wall in Lot 62
 Max (Combined Total) Height : 3.0m
 Min (Combined Total) Height : 3.0m
 Average (Combined Total) Ht : 3.0m

LEGEND

- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Proposed Retaining Wall (Height shown in brackets on lower side)
 - Finished Design Surface Level
 - Earthworks Pad Extents
 - Built to Boundary Location
 - Future Development Lot Boundary
 - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

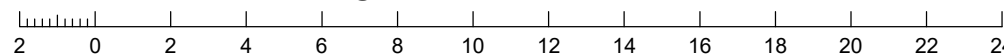
Lot 62 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



No.	by	Date	Chkd	Description
A	TBG	02/08/21	WJH	Original Issue
B	TBG	16/08/21	TBG	Lot levels updated



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Disclosure Plan for Proposed Lot 62 (Restricted) on SP330362

Described as part of Lot 1001 (Restricted) on SP317679
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

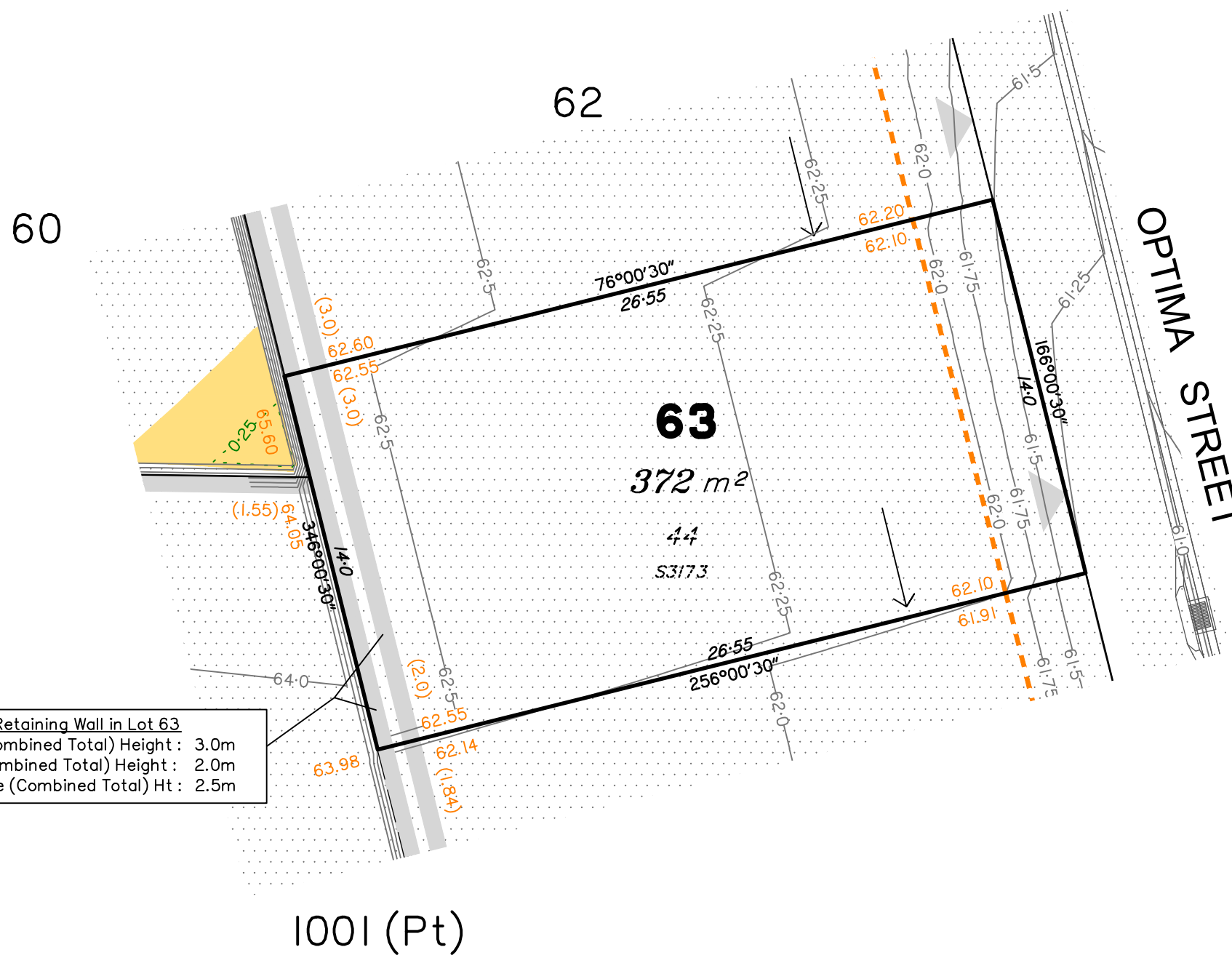
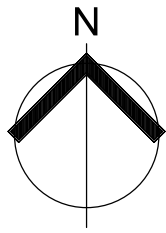
Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m

Scale @A3 1: 200

Dwg No. 9780 S 16 DP B_62



STAGE 2



Tiered Retaining Wall in Lot 63
 Max (Combined Total) Height : 3.0m
 Min (Combined Total) Height : 2.0m
 Average (Combined Total) Ht : 2.5m

- ### LEGEND
- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Proposed Retaining Wall (Height shown in brackets on lower side)
 - XX.XX Finished Design Surface Level
 - Earthworks Pad Extents
 - Built to Boundary Location
 - Future Development Lot Boundary
 - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES
 This plan has been prepared from preliminary survey plan (SP330362) and engineering plans provided on the 16/08/21 by Peak Urban Civil Engineers.

The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

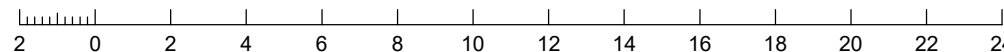
Lot 63 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



No.	by	Date	Chkd	Description
A	TBG	02/08/21	WJH	Original Issue
B	TBG	16/08/21	TBG	Lot levels updated

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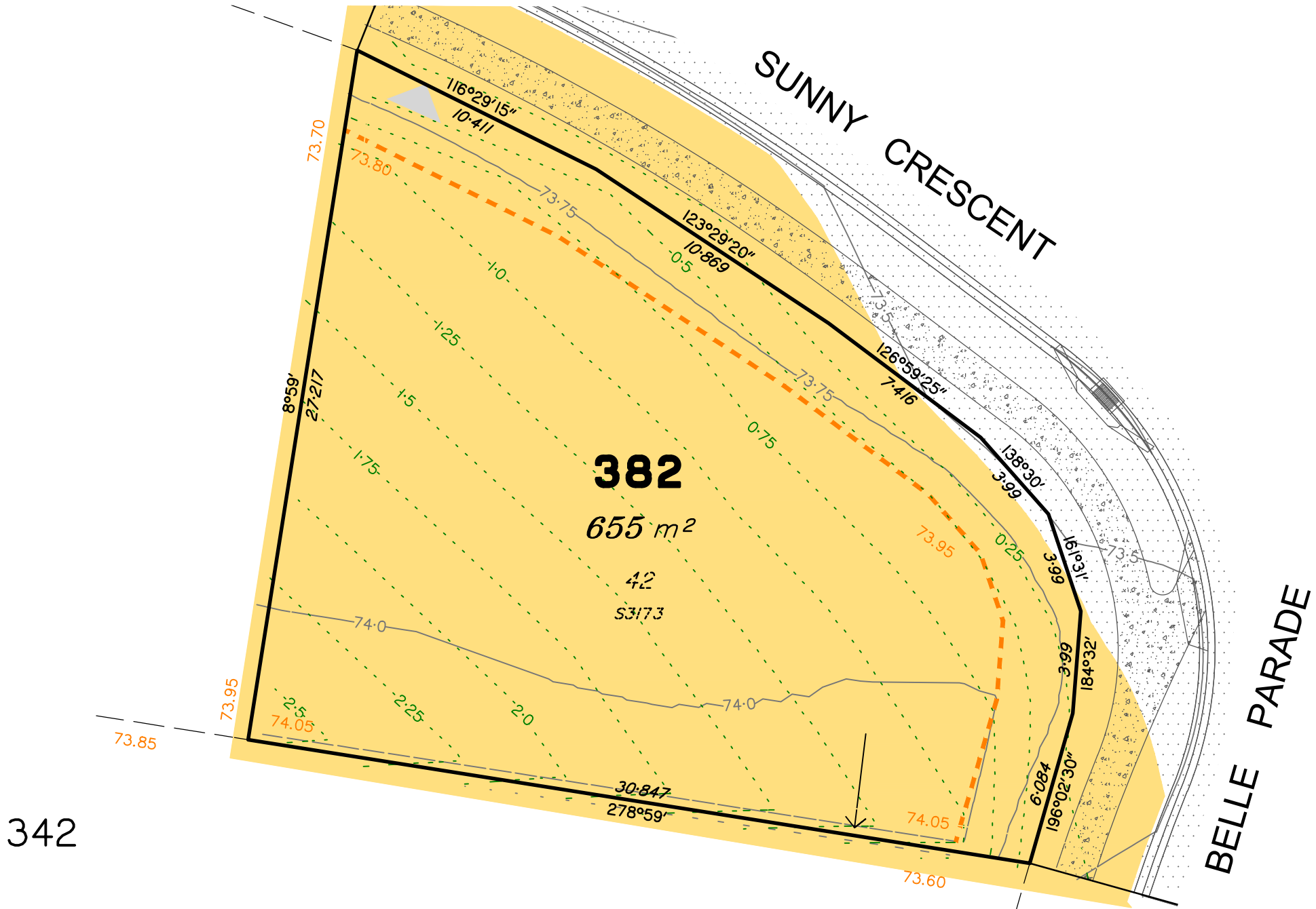
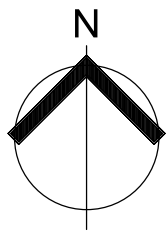
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Disclosure Plan for Proposed Lot 63 (Restricted) on SP330362
 Described as part of Lot 1001 (Restricted) on SP317679
 Existing Title Reference: 51219231
 Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 9780 S 16 DP B_63



STAGE 2



LEGEND

- Area of Fill
 - Area of Cut
 - Design Contours
 - Depth of Fill Contours
 - Proposed Retaining Wall (Height shown in brackets on lower side)
 - Finished Design Surface Level
 - Earthworks Pad Extents
 - Built to Boundary Location
 - Future Development Lot Boundary
 - Proposed Driveway Location
- (Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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The current development approval was granted for this subdivision (9332/2019/PDA) by the Ipswich City Council (05/05/2021).

At the time of publication of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

Lot 382 is restricted to a depth of 30.48m from the surface as defined by plan S3173.

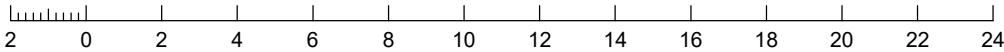
The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.



SCALE @A3 1:200 - LENGTHS ARE IN METRES



No.	by	Date	Chkd	Description
A	TBG	02/08/21	WJH	Original Issue



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This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

Disclosure Plan for Proposed Lot 382 (Restricted) on SP330362

Described as part of Lot 1001 (Restricted) on SP317679
 Existing Title Reference: 51219231

Locality of Ripley (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PSM 49894
 RL of Origin: 62.350
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 9780 S 16 DP A_382